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## SPEAKERS PANEL (PLANNING)

**Day:** Wednesday  
**Date:** 5 September 2018  
**Time:** 10.00 am  
**Place:** Guardsman Tony Downes House, Manchester Road,  
Droylsden, M43 6SF

Item No.	AGENDA	Page No
1.	<b>APOLOGIES FOR ABSENCE</b>	
2.	<b>DECLARATIONS OF INTEREST</b> To receive any declarations of interest from Members of the Council.	
3.	<b>MINUTES</b> The Minutes of the meeting of the Speakers Panel (Planning) held on 25 July 2018, having been circulated, to be signed by the Chair as a correct record.	1 - 10
4.	<b>APPEAL DECISION NOTICES</b>	
a)	<b>APP/G4240/W/18/3201052 - I BOWLAND ROAD, DENTON M34 2GD</b>	11 - 14
b)	<b>APP/G4240/Z/18/3201739 - LAND AT STOCKPORT ROAD, ASHTON-UNDER-LYNE. OL7 0NP</b>	15 - 16
c)	<b>APP/G4240/Z/18/3198296 - LAND ADJACENT TO 64 MANCHESTER ROAD, TAMESIDE</b>	17 - 20
d)	<b>APP/G4240/W/18/3201704 - GREENSIDE LANE DNS, GREENSIDE LANE, DROYLSDEN M43 7UT</b>	21 - 24
5.	<b>PLANNING APPLICATIONS</b> To consider the schedule of applications.	
a)	<b>18/00099/FUL - HOLLY GRANGE, 17 OXFORD ROAD, DUKINFIELD</b>	25 - 42
b)	<b>18/00125/FUL - 123 HAUGHTON GREEN ROAD, DENTON</b>	43 - 78
c)	<b>18/00130/FUL - LAND ADJACENT TO 301 MARKET STREET, DROYLSDEN</b>	79 - 104
d)	<b>18/00278/FUL - ASHTON OLD BATHS, STAMFORD STREET WEST, ASHTON-UNDER-LYNE</b>	105 - 122
e)	<b>18/00321/LBC - ASHTON OLD BATHS, STAMFORD STREET WEST, ASHTON-UNDER-LYNE</b>	123 - 146

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From: Democratic Services Unit – any further information may be obtained from the reporting officer or from Carolyn Eaton, Senior Democratic Services Officer, 0161 342 3050 or [Carolyn.eaton@tameside.gov.uk](mailto:Carolyn.eaton@tameside.gov.uk) to whom any apologies for absence should be notified.

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f) 18/00194/FUL - ASHTON OLD BATHS, STAMFORD STREET WEST, ASHTON-UNDER-LYNE 147 - 162

**6. URGENT ITEMS**

To consider any other items, which the Chair is of the opinion should be considered as a matter of urgency.

# Agenda Item 3

## SPEAKERS PANEL (PLANNING)

25 July 2018

Commenced: 10.00am

Terminated: 2.35pm

Present: Councillor McNally (Chair)  
Councillors Dickinson, Ricci, Ward, Wild and Wills

Apologies for absence: Councillor Glover, Gosling, Pearce and Quinn

### 10. MINUTES

The Minutes of the proceedings of the meeting held on 20 June 2018 having been circulated, were taken as read and signed by the Chair as a correct record.

### 11. DECLARATIONS OF INTEREST

There were no declarations of interest declared by Members.

### 12. APPEAL DECISIONS

Application reference/Address of Property.	Description	Appeal Decision
APP/G4240/D/17/3182813 – 14 Taunton Hall Close, Ashton-under-Lyne. OL7 9JP	Two storey side extension.	Appeal allowed
APP/G4240/D/17/3192055 – 26 Low Wood Road, Denton, Manchester. M34 2PD	Dormer to front, rear and side.	Appeal dismissed
APP/G4240/D/18/3195689 – 15 Broadfield Close, Denton, Manchester. M34 6BN	Front dormer extension.	Appeal dismissed

### 13. OBJECTIONS TO PROPOSED NO WAITING AT ANY TIME RESTRICTIONS ON DERAMORE CLOSE, ASHTON UNDER LYNE

Consideration was given to a report of the Director of Operations and Neighbourhoods explaining that Deramore Close was a small residential street, providing access to the 7 properties fronting Deramore Close, the rear of 8 properties on Darnton Road and 4 properties on Mellor Road.

Over the last 10 years there had been many developments in the area and with car ownership on the rise, some of the residents of Deramore Close had become increasingly frustrated with the situation. Non-residents parking on the street were a bone of contention for residents trying to undertake normal daily duties.

In 2009, waiting restrictions were advertised on Deramore Close to try and control the ad hoc parking which was occurring, there were objections and the scheme was reduced to the waiting restrictions that were in place to date.

In 2013, an experimental 'Controlled Parking Zone' was introduced on Mellor Road allowing only residents and residents' visitors to park along the street, this proved successful and remained in place to this day. However, due to the limited amount of space on street to park, it was not deemed a suitable solution for Deramore Close as the residents would be expected to pay for permits without any guarantee of a space, potentially only 3 available at any one time on the street. A consultation in 2017 proved this and subsequently the scheme was abandoned.

The residents had reported that obstructive parking along the stretch had now come to an all-time high and was posing a threat to residents as emergency services could not gain access if necessary. A proposal to extend the existing restriction to include the entire road was advertised in March 2018 with a 28 day objection period. Twelve objectors and seven supporters had sent in correspondence expressing their view, the details of which were documented in the report together with the responses of the Director of Operations and Neighbourhoods.

Seven letters of support had been received following the consultation, four from residents of Deramore Close, one from Darnton Road and two from family members on behalf of residents currently residing on Deramore Close.

The current parking situation was causing a lot of stress with the current residents of Deramore Close, the limited parking was causing problems for access with regards property maintenance, deliveries and visitors. Deramore close could safely allow 4 cars to be parking, these spaces were often taken by hospital staff and visitors. The supporters had stated that if necessary an emergency vehicle would have great difficulty gaining access to the properties as the road was frequently obstructed, especially early to late evening. Some of the local residents had multiple vehicles and use of works vans, thus causing congestion on the narrow street. One resident had a particular issue when vehicles parked opposite the driveway to the property reducing the road width to approx. 2.5 metres forcing them to drive over the kerb, thus resulting in damage to the vehicle.

The report concluded that it was always difficult to find a happy medium when introducing waiting restrictions as the inconvenience to residents could be great. However, the Close was narrow and would not facilitate parking on both sides of the road. If parking was restricted to one side of the road, 3 metres of free flowing carriageway would remained, therefore emergency access would be maintained. Parking spaces could be provided on the north side of Deramore Close and could be limited to 1 hour during the working day to prevent people parking to visit or work at Tameside General Hospital, ultimately leaving them available for visitors of the residents. It would be the intention to introduce the 1 hour limited waiting as an experimental order, thus allowing the residents six months to raise comments or objections to the time limited parking spaces. If objections were made within six months, the scheme could be revised, amended or implemented on a permanent basis following a further report to the appropriate Panel meeting. If no objections were received the scheme could be made permanent without a further report.

Details of the original and revised proposals were set out in the report as follows:

**ORIGINAL PROPOSALS (as appended to the report at Drawing No. 001)**

**No waiting at any time restrictions**

Deramore Close, both sides	Entire length, up to and including its cul de sac end
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**REVISED PROPOSALS (as appended to the report at Drawing No. 002)**

**No waiting at any time restrictions**

South side	From a point 7 metres east of the boundary line of property numbers 1 & 2 Deramore Close for a distance of 52 metres in a westerly direction.
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The Tameside Metropolitan Borough Council (DARNTON ROAD, DERAMORE CLOSE, MELLOR ROAD AND WILLOW WOOD CLOSE, ASHTON UNDER LYNE)(PROHIBITION OF WAITING) ORDER 2009 shall be amended to reflect these proposals.

**Experimental introduction of Limited Waiting, 1 hour no return within 2 hours Monday to Friday, 8am-5pm**

North side	From the projected boundary line of properties number 1 & 2 Deramore Close for a distance of 11 metres in a westerly direction
North side	From a point 18 metres west of the projected boundary line of properties number 1 & 2 Deramore Close for a distance of 8 metres in a westerly direction
North side	From a point 33 metres west of the projected boundary line of properties number 1 & 2 Deramore Close for a distance of 6 metres in a westerly direction

A number of objectors to and supporters of the scheme attended the meeting and highlighted their concerns in respect of the current parking situation on Deramore Close and how the proposals would impact on surrounding streets.

Discussion ensued with regard to the proposal and consideration was given to the information provided including: the proposed options submitted, the objections raised, responses given, supporters comments and all representations submitted via email and in person at the meeting and it was:

**RESOLVED**

**That the option of a ‘Controlled Parking Zone’ allowing only residents and resident’s visitors to park along the street, be revisited.**

**14. OBJECTIONS TO PROPOSED NO WAITING AT ANY TIME RESTRICTIONS ON RIDGE HILL AREA, STALYBRIDGE ORDER 2018**

The Director of Operations and Neighbourhoods submitted a report explaining that the area known as Ridge Hill was densely populated with residents of all ages. Over the last 10 years as car ownership had risen, many residents were being put in danger when travelling around the estate on foot due to the high levels of on-street parking.

Children were encouraged to walk to school, enhancing confidence and practical skills when using the highway, this also kept children active and the areas outside the schools less congested. It had been reported that the junctions and pavements in the area were obstructed causing visibility issues between pedestrians and vehicles. As a result of this a number of complaints had been received by the Traffic Operations section of Tameside MBC and the Jigsaw Group, representing the residents of Ridge Hill Estate. The complaints were requesting waiting restrictions be implemented around the estate to assist parents when traveling around the area with young children and prams.

The haphazard parking was also having an adverse effect on the free flow of traffic around the estate including the frontage to the school. A scheme had been designed and advertised in an attempt to address some of the complaints by enhancing safety in the area.

Three objections had been received focusing on the area at Coniston Drive. The objections and the responses of the Director of Operations and Neighbourhoods were detailed in the report.

The objections did not refer to Ambleside, Buckingham Road, Fellside Green, Ridge Hill Lane, School Crescent and Windermere Road, it was therefore intended to introduce these restrictions.

A resident of Coniston Drive attended the meeting and expressed concerns with regard to parking problems in the area which seemed to have worsened over time and requested that a reduction in the length of the proposed restrictions be considered

Discussion ensued with regard to the proposal and consideration was given to the information provided including the objections/comments made in the report prior to the meeting and in person at the meeting, and it was:

#### **RESOLVED**

**That authority be given for the necessary action to be taken in accordance with the Road Traffic Regulation Act 1984 to make the following order: TAMESIDE METROPOLITAN BOROUGH (RIDGE HILL AREA, STALYBRIDGE) (PROHIBITION OF WAITING) ORDER 2018, as follows:**

#### **Advertised Proposals: No Waiting at Any Time**

##### **Coniston Drive**

<b>both sides</b>	<b>from its junction with School Crescent for a distance of 15 metres in a south easterly direction.</b>
<b>north east side</b>	<b>from its junction with Ridge Hill Lane to a point 10 metres north west of Windermere Road.</b>
<b>south west side</b>	<b>from its junction with Ridge Hill Lane to a point 15 metres north west of Fellside Green.</b>

**Following requests from residents present at the meeting, the possibility of reducing the length of the restrictions on the straight section of the road only, would be considered.**

#### **15. OBJECTIONS TO PROPOSED LIMITED WAITING RESTRICTIONS IN THE AREA OF WOOLLEY CLOSE, HOLLINGWORTH**

A report of the Director of Operations and Neighbourhoods was submitted explaining that a Traffic Regulation Order (TRO) scheme was identified for Cross Street, Taylor Street, Woolley Close and The Boulevard through a borough wide review of TRO requests. Subsequently a scheme which comprised the introduction of 'No Waiting at Any Time' protection markings within that area was designed to improve road safety and facilitate traffic movement. Following consultation with local ward councillors, approval to advertise the scheme was gained through the Delegated Decision report – Traffic Regulation Order Programme 2015/16 – 2017/18 on 10 December 2015.

The request for additional waiting restrictions within the area was originally raised by local residents.

It was reported that there had been five objections from residents received during the consultation period. The objections were summarised in the report along with the responses of the Director of Operations and Neighbourhoods.

Details of the original and revised proposals were set out in the report as follows:

THE TAMESIDE METROPOLITAN BOROUGH (CROSS STREET, WOOLLEY CLOSE AREA, HOLLINGWORTH) (PROHIBITION OF WAITING) ORDER 2017 – as advertised

<b><u>ADVERTISED SCHEDULE</u></b>		
<b>No Waiting at Any Time</b>		
Cross Street (northwest side)	-	from its junction with Taylor Street for a distance of 17 metres in a south-westerly direction.
Cross Street (southeast side)	-	from its junction with Taylor Street for a distance of 11 metres in a south-westerly direction.
Taylor Street (southwest side)	-	from its junction with Woolley Close to a point 10 metres north-west of its junction with Cross Street.
Taylor Street (northeast side)	-	from its junction with The Boulevard for a distance of 10 metres in a north-westerly direction.
Woolley Close (west side)	-	from its junction with Taylor Street for a distance of 26 metres in a southerly direction.
Woolley Close (east side)	-	from a point 19 metres south of its junction with Taylor Street for a distance of 10 metres in a southerly direction.
The Boulevard (west side)	-	from its junction with Taylor Street for a distance of 10 metres in a northerly direction.

**Proposed amended Schedule 2:**

<b><u>AMENDED SCHEDULE</u></b>		
<b>No Waiting at Any Time</b>		
Cross Street (northwest side)	-	from its junction with Taylor Street for a distance of 17 metres in a south-westerly direction.
Cross Street (southeast side)	-	from its junction with Taylor Street for a distance of 11 metres in a south-westerly direction.
Taylor Street (southwest side)	-	from its junction with Woolley Close for a distance of 6 metres in a north-west direction.
Taylor Street (southwest side)	-	from a point 10 metres north-west of its junction with Cross Street to a point 7 metres south-east of that junction.
Taylor Street (northeast side)	-	from its junction with The Boulevard for a distance of 10 metres in a north-westerly direction.
Woolley Close (west side)	-	from its junction with Taylor Street for a distance of 10 metres in a southerly direction.
The Boulevard	-	from its junction with Taylor Street for a distance of

(west side)	10 metres in a northerly direction.
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Two residents attended the meeting and expressed concerns with regard to the need for the restrictions, however agreed that road corners needed to be protected and stated that they were happy with the revised scheme, as detailed above.

**RESOLVED**

That authority be given for the necessary action to be taken in accordance with the Road Traffic Regulation Act 1984 to make the following order: **TAMESIDE METROPOLITAN BOROUGH (CROSS STREET, WOOLLEY CLOSE AREA, HOLLINGWORTH) (PROHIBITION OF WAITING) ORDER 2017, as follows:**

**Proposed amended Schedule 2:**

<b><u>AMENDED SCHEDULE</u></b>	
<b>No Waiting at Any Time</b>	
<b>Cross Street (northwest side)</b>	- from its junction with Taylor Street for a distance of 17 metres in a south-westerly direction.
<b>Cross Street (southeast side)</b>	- from its junction with Taylor Street for a distance of 11 metres in a south-westerly direction.
<b>Taylor Street (southwest side)</b>	- from its junction with Woolley Close for a distance of 6 metres in a north-west direction.
<b>Taylor Street (southwest side)</b>	- from a point 10 metres north-west of its junction with Cross Street to a point 7 metres south-east of that junction.
<b>Taylor Street (northeast side)</b>	- from its junction with The Boulevard for a distance of 10 metres in a north-westerly direction.
<b>Woolley Close (west side)</b>	- from its junction with Taylor Street for a distance of 10 metres in a southerly direction.
<b>The Boulevard (west side)</b>	- from its junction with Taylor Street for a distance of 10 metres in a northerly direction.

**16. PLANNING APPLICATIONS**

Prior to the determination of the planning applications, the Development Manager explained that a revised National Planning Policy Framework had come into effect the previous day (Tuesday 24 July 2018) and was a material planning consideration in the assessment of planning applications. He added, however, that there was no reason to suggest that any recommendations made to Speakers; panel were affected.

The Panel noted the above and then gave consideration to the schedule of applications submitted and it was:-

**RESOLVED**

- (i) That the information presented in respect of the revised National Planning Policy Framework be noted; and

(ii) That the applications for planning permission be determined as detailed below:-

<p><b>Name and Application No:</b></p>	<p><b>16/00767/OUT</b> <b>Mr J Meredith</b></p>
<p><b>Proposed Development:</b></p>	<p><b>Outline planning application (seeking approval for the mans of access, layout, scale and appearance of the development) for the erection of 29 x 1 bedroom apartments (use class C3). The occupants of the development would be those over the age of 55 with care needs, along with their partner, spouse and dependents.</b></p> <p><b>Land occupied by 1 and 2 Ralphs Lane, Dukinfield</b></p>
<p><b>Speaker(s)/Late Representations:</b></p>	<p><b>Councillor J Lane and Mr Wilkinson spoke against the application.</b></p> <p><b>Mr Musgrave (representing the architect) spoke in support of the application.</b></p>
<p><b>Decision:</b></p>	<p><b>The decision was to go against officer recommendation to approve.</b></p> <p><b>Members listened to the arguments for and against the application and were of the view that the development was considered to be detrimental to the character of the site and surrounding area by virtue of its siting, scale and massing. The proposed building would be 3 storeys in height in an area that is characterised by predominantly 2 storey development. The additional height, alongside the width of the development would result in an overbearing impact on the character of the site, which includes open land on the western edge of the site. This area of open land forms a prominent feature on the corner of Ralphs Lane and encroachment of development into this part of the site would result in a detrimental impact on the character of the surrounding area. For these reasons, the proposed development was considered to be contrary to policies C1 and H10 (a) of the adopted Tameside Unitary Development Plan and Section 12 of the National Planning Policy Framework (2018).</b></p> <p><b>The proposed development would result in an intensification of the use of the site and the additional trips along and movements within Ralphs Lane would result in a severe impact on highway safety due to the narrow nature of Ralphs Lane. The proposed parking provision on the western side of Ralphs Lane would not include sufficient space for vehicles to enter and leave the spaces in forward gear. Given that these spaces would be located immediately adjacent to Ralphs Lane and that the highway is narrow in width, this was considered to represent a highway safety hazard. The proposed development was therefore considered to be contrary to policy T1 of the adopted Tameside Unitary Development Plan and should be refused, in accordance with the guidance contained within paragraph 109 of the National Planning Policy Framework (2018).</b></p>

<b>Name and Application No</b>	<b>17/01053/FUL AA and T Rentals Ltd</b>
<b>Proposed Development:</b>	<b>Change of use to trailer rental, with associated offices, from storage and distribution – retrospective. G O C Surfacing, 57 Lumb Lane, Audenshaw</b>
<b>Speaker(s)/Late Representations:</b>	<b>Councillor Ryan spoke against the application.</b>
<b>Decision:</b>	<b>Approved subject to the conditions as set out in the report.</b>

<b>Name and Application No:</b>	<b>18/00444/FUL</b>
<b>Proposed Development:</b>	<b>Full planning application for the erection of a new Wellness Centre (use class D2) (total floor area 5,598 square metres), 123 associated car parking spaces and landscaping. Norther western portion of former Oldham Batteries site (on junction of Lance Corporal Andrew Breeze Way and Ashton Road) Denton.</b>
<b>Speaker(s)/Late Representations:</b>	<b>None.</b>
<b>Decision:</b>	<b>Approved subject to the conditions as set out in the report.</b>

<b>Name and Application No:</b>	<b>17/00925/OUT Mrs E Leah</b>
<b>Proposed Development:</b>	<b>Outline planning permission (all matters reserved) for the erection of 5 dwellings on the land following the demolition of the existing bungalow on the site. 164 Mottram Road, Stalybridge and associated land.</b>
<b>Speaker(s)/Late Representations:</b>	<b>Councillor Patrick spoke against the application. Mrs Leah (applicant) spoke in support of the application.</b>
<b>Decision:</b>	<b>Approved subject to the conditions as set out in the report.</b>

<b>Name and Application No:</b>	<b>17/00963/FUL Armitage Construction Ltd, Manchester</b>
<b>Proposed Development:</b>	<b>Full planning application for the demolition of the existing buildings on the site and erection of 24 no. apartment building with associated road, parking and bin store.</b>
<b>Speaker(s)/Late</b>	<b>Ms Saunders (architect) spoke in support of the application.</b>

<b>Representations:</b>	
<b>Decision:</b>	<p>Approved subject to the completion of a Section 106 Agreement to secure the following contributions:</p> <p>Green Space - £9,574.44 for the enhancement of play facilities at Millennium Green in Hyde;</p> <p>Highway works - £18,447.47 towards improvements to the traffic signalling facilities in Hyde town centre; and</p> <p>Management and maintenance of public space within the development and the surface water drainage system to be installed.</p> <p>And the conditions as set out in the report.</p>

<b>Name and Application No:</b>	18/00004/FUL DAY
<b>Proposed Development:</b>	The removal of 9 existing garages to be replaced with 2 semi-detached houses. Land with Garages, Primrose Crescent, Hyde
<b>Speaker(s)/Late Representations:</b>	Ms McDermott spoken against the application. Mr Nicholson (for applicant) spoke in support of the application.
<b>Decision:</b>	Approve subject to the conditions as set out in the report.

<b>Name and Application No:</b>	18/00017/PLCOND Olive Property Construction North Limited
<b>Proposed Development:</b>	Application for minor material amendment o approved planning application 15/00063/FUL. Variation to condition no. 2 (Approved Plans) to allow alterations to the design, siting, landscaping and mass of the approved development for the erection of 24 no. two bedroom apartments within a 3 storey block with accommodation within the roof space. Site of Former Conservative Social Club, Vernon Street, Ashton.
<b>Speaker(s)/Late Representations:</b>	None.
<b>Decision:</b>	Approve subject to the conditions as set out in the report.

<b>Name and Application No:</b>	18/00142/FUL Mr S Halligan, Tameside Transmissions.
<b>Proposed Development:</b>	Construction of steel arched building to be used as storage. Tameside Transmissions, Albert Street, Droylsden

<b>Speaker(s)/Late Representations:</b>	<b>Mr Dobson spoken against the application. Mr Halligan (applicant) spoke in support of the application.</b>
<b>Decision:</b>	<b>Approve subject to the conditions as set out in the report.</b>

<b>Name and Application No:</b>	<b>18/00304/FUL VUR Village Trading No 1 Limited</b>
<b>Proposed Development:</b>	<b>Erection of a 48 bedroom extension with link bridge connecting to the existing Village Hotel Ashton including reconfiguration of the existing car park, landscaping and associated works.  Village Hotel Ashton, Pamir Drive, Ashton-under-Lyne OL7 0LY</b>
<b>Speaker(s)/Late Representations:</b>	<b>Ms Hilton (on behalf of the agent) spoke in support of the application.</b>
<b>Decision:</b>	<b>Approve subject to the completion of a Section 106 agreement securing offsite highway improvements and the imposition of conditions as set out in the report.</b>

<b>Name and Application No:</b>	<b>18/00099/FUL Mr Dinesh Chinta</b>
<b>Proposed Development:</b>	<b>Change of use of 27 bedroom residential care home (use class C2) to a house in multiple occupation (use class sui generis) of 27 rooms, including the allocation of 30 no. cycle storage spaces, associated car parking and amenity space.  Holly Grange, 17 Oxford Road, Dukinfield. SK16 5PQ</b>
<b>Speaker(s)/Late Representations:</b>	<b>Councillor Taylor spoke against the application.</b>
<b>Decision:</b>	<b>The consideration of the application be deferred until the next meeting of the Speakers' Panel (Planning) in order that a site visit of the property and associated parking and amenity space, by Panel Members be undertaken.</b>

## **17. URGENT ITEMS**

The Chair advised that there were no urgent items of business for consideration by the Panel.

**CHAIR**



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## Appeal Decision

Site visit made on 17 July 2018

**by Thomas Hatfield BA (Hons) MA MRTPI**

**an Inspector appointed by the Secretary of State for Communities and Local Government**

**Decision date: 20<sup>th</sup> August 2018**

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**Appeal Ref: APP/G4240/W/18/3201052**

**1 Bowland Road, Denton, M34 2GD**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
  - The appeal is made by Mr Richard Keary against the decision of Tameside Metropolitan Borough Council.
  - The application Ref 17/00678/FUL, dated 4 August 2017, was refused by notice dated 7 December 2017.
  - The development proposed is erection of a detached dwelling.
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### Decision

1. The appeal is dismissed.

### Procedural Matters

2. A revised version of the National Planning Policy Framework ('the Framework') has been published since the appeal was lodged. The main parties were given the opportunity to comment on any relevant implications for the appeal. I have had regard to the responses and the Framework in reaching my decision.
3. The site has previously been subject to a dismissed appeal for a 2 bedroom bungalow (Ref APP/G4240/W/15/3129456). The full details of that case, including the submitted plans, are not before me. However, as that case was in outline and proposed a bungalow, it does not appear to be directly comparable to the current proposal. I have therefore come to my own view on the appeal rather than relying on the approach taken by my colleague in different circumstances.

### Main Issues

4. The main issues are the effect of the development, firstly, on the character and appearance of the area and, secondly, on the living conditions of the occupiers of No 40 Radnor Avenue with regard to overlooking and loss of privacy.

### Reasons

#### *Character and appearance*

5. The appeal site is located within a residential area that consists mostly of semi-houses. Bowland Road and most of the surrounding streets are characterised by consistent building lines and a relatively uniform pattern of development.

6. The proposed dwelling would be positioned around 1.5 metres in advance of the established building line. It would also have a significant width compared to neighbouring properties and would be in a prominent position just before the junction. In this regard, it would jut out prominently into the street which would contrast sharply with the existing pattern of development along Bowland Road. In my view, it would appear incongruous and would fail to respect the character of the surrounding area.
7. A number of properties along Bowland Road have been extended to the side and rear. However, these extensions are mostly subservient in scale and follow the established building line. They do not lend support to the appeal proposal in my view.
8. For the above reasons, I conclude that the development would significantly harm the character and appearance of the area. It would therefore be contrary to Policies H10 and C1 of the Tameside Unitary Development Plan (UDP) (2004) and guidance contained in the Residential Design Supplementary Planning Document (SPD) (2010). These policies and guidance seek to ensure, amongst other things, that new development is consistent with the pattern of development in the area.

#### *Living conditions*

9. Policy RD5 of the Council's Residential Design SPD states that a minimum separation distance of 21 metres should be maintained between residential habitable room windows. In this regard, the proposed rear bedroom window would be 19.8 metres from first floor habitable room windows in No 40 Radnor Avenue, according to the submitted plans. This would result in direct overlooking between these properties, and the development would therefore be contrary to guidance contained in the SPD.
10. My attention has been drawn to the relationship between the rears of Nos 6-10 Sherwood Road and No 40 Radnor Avenue, which also appears to be below the standard required by the SPD. However, that is a longstanding arrangement and in any case, those properties are set at a more oblique angle to No 40, which limits direct overlooking. Accordingly, this existing arrangement does not provide a justification for the development.
11. The appellant further states that the nearest window to No 40 in the proposed dwelling would serve a bathroom, which could be obscurely glazed. However, the 19.8 metre measurement that is given appears to relate to the proposed bedroom, and not to the bathroom window. In the circumstances of this case, I am not persuaded that there is a clear justification for departing from the SPD.
12. For the above reasons, I conclude that the development would significantly harm the living conditions of the occupiers of No 40 Radnor Avenue with regard to overlooking and loss of privacy. It would therefore be contrary to Policy H10 of the Tameside UDP (2004) and guidance contained in the Residential Design SPD (2010). This policy and guidance seek to ensure, amongst other things, that new development does not have an unacceptable impact on the amenity of neighbouring properties.

### **Overall Balance and Conclusion**

13. As set out above, I conclude that the development would significantly harm both the character and appearance of the area, and the living conditions of the occupiers of No 40 Radnor Avenue with regard to overlooking and loss of privacy. It would be contrary to Policies H10 and C1 of the Tameside UDP (2004) and guidance contained in the Residential Design SPD (2010) in this regard.
14. The appellant states that the Council is currently unable to demonstrate a 5 year supply, although the Council has not commented on this matter. In this regard, the development would provide a small contribution to the supply of family housing on a small site in a relatively accessible location. Moreover, there would be some modest economic benefits including the creation of employment during the construction phase, and through the purchasing of materials and furnishings.
15. However, even if I were to find that the Council was unable to demonstrate a 5 year supply, the adverse impacts of granting planning permission would significantly and demonstrably outweigh the benefits in this case. Accordingly, the application of Paragraph 11 of the Framework would not indicate that permission should be granted. In the circumstances of this appeal, the material considerations considered above do not justify making a decision other than in accordance with the development plan.
16. For the reasons given above I conclude that the appeal should be dismissed.

*Thomas Hatfield*

INSPECTOR

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## Appeal Decision

Site visit made on 19 August 2018

by **Nigel Harrison BA (Hons) MRTPI**

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date: 21<sup>st</sup> August 2018

**Appeal Ref: APP/G4240/Z/18/3201739**

**Land at Stockport Road (adjacent to Associations of Ukrainians, corner of Stockport Road and Birch Street), Ashton-under-Lyme, Tameside, OL7 0NP**

- The appeal is made under Regulation 17 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 against a refusal to grant express consent.
- The appeal is made by Insite Poster Properties (Mr Richard Page) against the decision of Tameside Metropolitan Borough Council.
- The application Ref: 17/01007/ADV dated 23 November 2017, was refused by notice dated 12 March 2018.
- The advertisement proposed is: Replacement of existing 2 No 48-sheet illuminated advertising displays with 1 No 48-sheet digitally illuminated display.

### Decision

1. The appeal is dismissed.

### Main Issues

2. The decision notice relates specifically to matters of public safety, and the Council says it is satisfied there would be no harm arising to amenity. Based on my own observations and the established history of advertising at the site, I find no reason to disagree. I therefore consider the main issue is the effect on public safety, with particular regard to highway and pedestrian safety.

### Reasons

3. The appeal site comprises a small area of grassland on the corner of Stockport Road and Birch Street in an area of mixed residential and commercial character. The existing advertisements comprise 2 x No 48-sheet timber framed displays placed side-to-side onto which paper based images are periodically affixed. The existing displays each measure 6m x 3m and are elevated 1.2m above ground level. The signs are externally illuminated.
4. It is proposed to replace these with a single 48-sheet LED digital display measuring 6m x 3m which would be sited centrally on the site and at a higher elevation. The display would present a range of static images with a new image materialising at short intervals. The appellant says the displays would not contain any moving images, animation or flashing lights. The sign would be illuminated at 600 candelas per sqm during the day and 300 candelas per sqm at night in line with the recommendations in the publication '*The Brightness of Illuminated Advertisements*'.<sup>1</sup>

<sup>1</sup> Institute of Lighting Professionals: The Brightness of Illuminated Advertisements (PLG, 2015)

5. Paragraph 132 of the revised *National Planning Policy Framework* (the Framework) says advertisements should be subject to control only in the interests of amenity and public safety, taking account of cumulative impacts.
6. More detailed guidance is given in *Planning Practice Guidance* (PPG). Paragraph 067 says that all advertisements are intended to attract attention, but those at points where drivers need to take more care are more likely to affect public safety. The PPG adds that there are less likely to be road safety problems if the advertisement is on a site within a commercial locality and if not on a skyline. I accept that the area around the junction is predominantly commercial and the sign would not be on the skyline.
7. However, PPG paragraph 068 also lists the main types of advertisement which may cause danger to road users. These include those which because of their size or siting would obstruct or confuse a road-user's view or reduce the clarity or effectiveness of a traffic sign or signal. In addition, it refers to internally illuminated signs (incorporating either flashing or static lights), including those using light emitting diode (LED) technology, those directly visible from any part of the road, and those subject to frequent changes of display.
8. This does not mean that all internally illuminated sign using LED technology would be harmful to public safety. However, Stockport Road (A6107) is a busy road carrying large volumes of traffic between the motorway junction and the town centre. It has a straight alignment where it passes the appeal site, and the configuration of the junction with Birch Street requires drivers to concentrate with due care and attention to other road users. This is even more so due to the presence of the light-controlled pedestrian crossing and the movements of traffic in and out of the petrol station and visiting the parade of shops on the opposite side of the Stockport Road/Birch Street junction.
9. In this context, I consider the introduction of the proposed sign, by reason of its siting, size, internal illumination and frequent changes of display, would unduly distract and confuse eye of motorists at a junction where road users are required to exercise care and attention. Furthermore, I consider the means of illumination and changing display would reduce the clarity of the traffic signals serving the adjacent pedestrian crossing, leading to a potentially increased risk of accidents, including with pedestrians. Overall I conclude that the proposal would be harmful to public safety, arising from the unacceptable impact of the proposed advertisement on highway and pedestrian safety referred to above.
10. There would be a significant net reduction in advertising material at the site, giving a modest visual benefit in terms of the appearance of the area. I also appreciate that digital technology offers energy efficiency gains over more traditional methods of illumination. There are other benefits to the operator arising from remote operation which would remove the need for regular visits to the site. However, whilst I acknowledge these points in favour, they do not overcome my objections in terms of public safety which must be decisive.
11. For the reasons given above, and having regard to all other matters raised, I conclude that the display of the advertisement would be detrimental to the interests of public safety and that the appeal should fail. It would conflict with the relevant advice in the *Regulations, The Framework, and the PPG*.

*Nigel Harrison* INSPECTOR



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## Appeal Decision

Site visit made on 3 July 2018

**by Jillian Rann BA (Hons) MSc MRTPI**

**an Inspector appointed by the Secretary of State**

**Decision date: 25 July 2018**

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**Appeal Ref: APP/G4240/Z/18/3198296**

**Land adj to 64 Manchester Road, Tameside (Grid Reference: Easting 394464, Northing 395123)**

- The appeal is made under Regulation 17 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 against a refusal to grant express consent.
  - The appeal is made by Wildstone Estates Limited against the decision of Tameside Metropolitan Borough Council.
  - The application Ref 17/00954/ADV, dated 7 November 2017, was refused by notice dated 25 January 2018.
  - The advertisement proposed is described as: 'replacement of 2 no. 48 sheet poster displays with 1 no. internally illuminated digital display and associated logo box'.
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### Decision

1. The appeal is allowed and express consent is granted for the display of 1 no. internally illuminated digital display and associated logo box as applied for. The consent is for five years from the date of this decision and is subject to the five standard conditions set out in the Regulations and the following additional conditions:-
  - 1) The intensity of the illumination of the digital display and associated logo box permitted by this consent shall be no greater than 100 candela per square metre at night (between local sunset and local sunrise), and no greater than 600 candela during the day (between local sunrise and local sunset).
  - 2) No single advertisement shall be displayed for fewer than 10 seconds and successive images shall not be changed more frequently than once every 10 seconds.
  - 3) The transition between successive images shall be 0.1 second or less.
  - 4) The digital display shall at all times maintain a safety feature that will turn the screen off (ie show a black screen) in the event that the display experiences a malfunction or error.
  - 5) The digital display and associated logo box shall not display any additional effects (including, but not limited to, animation, flashing, scrolling, three dimensional, intermittent or video elements) of any kind, at any time. No visual effects, including fading, swiping or animation, shall accompany the transition between any successive advertisements, images or messages.

## **Procedural Matters**

2. As there were discrepancies between the reference numbers of the drawings supplied by the appellant and those listed on the Council's decision notice, clarification has been sought from the parties. The Council has confirmed that there were some errors in the drawing references listed on the decision notice, and that the versions supplied by the appellant were the submitted application drawings, on which the Council based its decision. I therefore consider the appeal on the basis of those drawings. For clarity, they are:
  - Site Location Plan 5390| PP| 01;
  - Existing Site Plan 5390| PP| 02;
  - Proposed Site Plan 5390| PP| 03 Rev B;
  - A-A Elevation 5390| PP| 04 Rev B;
  - B-B Elevation 5390| PP| 05 Rev B; and
  - Existing and Proposed Specification Sheet 5390| PP| 06 Rev B.
3. In reaching my decision I have had regard to the revised National Planning Policy Framework, 24 July 2018 (the revised Framework). I do not find that the provisions of paragraph 132 of the revised Framework raise any new relevant matters when compared with paragraph 67 of the previous version, which is cited in the Council's reason for refusal, and which both parties have previously considered.

## **Main Issue**

4. The main issue is the effect of the proposed advertisement on public safety.

## **Reasons**

5. The site is in a commercial area where illuminated signage, including large poster displays, is a characteristic of the wider street scene and highway environment. The proposed LED digital display would replace two existing, externally illuminated poster displays, and would be of a similar size, and in a similar position to one of these existing advertisements. Therefore, whilst the nature of its illumination would differ from that of the existing advertisements and other nearby displays, the proposed sign would not appear as an unusual or unexpected feature within its immediate surroundings, or to drivers passing through this area.
6. During my visit, I drove the junction from all directions and used all of the pedestrian crossing points. I also observed traffic movements through and around the junction, and noted that traffic volumes in this area at the time of my visit, around lunchtime on a weekday, were relatively high.
7. The appellant has proposed to limit the brightness of the display to 100 candela per square metre at night. This would satisfactorily prevent the display from being unduly bright in relation to surrounding externally illuminated signage during the hours of darkness. Subject to such a restriction, and to also limiting the brightness of the display during daytime hours, the display would not result in undue glare, prominence or distraction for highway users as a result of its brightness.
8. As the advertisement would be sited adjacent to the side of a building, it would only be visible to drivers approaching along Manchester Road in one direction.



From this direction, the appeal site is approached along a relatively long, straight section of road, and the junction and traffic signals are visible to approaching drivers from some distance away.

9. The display would not incorporate any moving images, flashing lights, or animated transitions between displays. The LED images displayed would be static, and the transition between them, every 10 seconds, would be almost instantaneous. A change in the static display may momentarily draw a driver's attention. However, such changes would not be so frequent or so lengthy as to create a significant distraction, and drivers would have time to assimilate the advertisement as part of their observation and decision-making process as they approach the junction.
10. Drivers approaching the site along Clark Way would not be aware of the advertisement until they were closer to the junction. However, it would be positioned to the right of the traffic signals when approaching from this direction, and would not be viewed in conjunction with the signals themselves. As there are a number of other large poster displays along Clark Way approaching the site, the sign would not come as a surprise to drivers approaching from this direction and, for the reasons above, it would not result in more than a momentary distraction or significantly affect the decision-making of drivers approaching from this direction.
11. I observed that the pedestrian crossings around the junction are not signalled. However, I have no substantive evidence before me to suggest that pedestrian safety is a significant concern at the junction at present. For the reasons above, I consider that the proposed advertisement would not represent a significantly greater distraction to drivers approaching the crossings than the existing advertisements which have been present on the site for some time. Given this, and the degree of separation between the advertisement and the various crossing points in the views of drivers approaching them, I have little reason to conclude that the proposal would have significant implications for the safety of pedestrians.
12. Whilst the sign may briefly draw the attention of pedestrians using the crossings, it would not include any moving images which would be likely to create a significant distraction for pedestrians. On the basis of the evidence before me, I have little reason to believe that it would lead them to neglect the necessary care and attention required to safely cross the road.
13. For the reasons given above, the proposed advertisement would not have a significant adverse effect on public safety. It would therefore not conflict with paragraph 132 of the revised Framework, or with the Planning Practice Guidance.
14. My attention has been drawn to a recent appeal decision elsewhere, relating to the replacement of an illuminated 48 sheet advertising display with a 48 sheet LED display. From the limited information before me, I note that there appear to be some outward similarities with regard to the nature of the proposed development. However, I have not been provided with any details of the proposal referred to. I therefore cannot be certain that it is directly comparable to the appeal before me with regard to the site context and the circumstances in which consent was refused. Notwithstanding comparisons drawn, I have considered the appeal on the basis of the specific circumstances and planning merits of this particular site and proposal.

### **Conditions**

15. In addition to the 5 standard conditions set out in the Regulations, the appellant has suggested a number of additional conditions. I have reviewed these in accordance with the tests in paragraph 55 of the revised Framework.
16. In the interests of highway and pedestrian safety, I attach conditions restricting the level of illumination of the display, and the frequency and duration of changes between static images. For the same reason, I also attach conditions preventing the display of moving images or animation, and requiring the display to default to a blank screen in the event of a malfunction or error.

### **Conclusions**

17. For the reasons given above, and having regard to all other matters raised, the appeal is allowed.

*Jillian Rann*  
INSPECTOR



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## Appeal Decision

Site visit made on 20 August 2018

by **Nigel Harrison BA (Hons) MRTPI**

an Inspector appointed by the Secretary of State for Communities and Local Government

Decision date: 22<sup>nd</sup> August 2018

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**Appeal Ref: APP/G4240/W/18/3201704**

**Greenside Lane DNS, Greenside Lane, Droylsden, Tameside, M43 7UT**

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant prior approval required Schedule 2, Part 16, Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended).
  - The appeal is made by EE (UK) and Hutchinson UK Ltd against the decision of Tameside Metropolitan Borough Council.
  - The application Ref: 18/00230/NCD dated 19 February 2018 (covering letter dated 20 February 2018) was refused by notice dated 17 April 2018.
  - The development proposed is: "Erection of 20m high HEL phase 5 streetworks pole on D9-root foundation and associated works".
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### Decision

1. The appeal is allowed and approval is granted under the provisions of Schedule 2, Part 16, Class A of the *Town and Country Planning (General Permitted Development) (England) Order 2015* (as amended) for the siting and appearance of a 20m high HEL Phase 5 streetworks pole on D9-root foundation and associated works at Greenside Lane DNS, Greenside Lane, Droylsden, Tameside, M43 7UT in accordance with the terms of the application Ref: 18/00230/NCD dated 19 February 2018, and the plans submitted with it.

### Main Issue

2. The main issue in this case is the effect of the proposal on the character and appearance of the street scene and surrounding area, and whether any harm caused is outweighed by the need to site the installation in the proposed location, having regard to the potential availability of alternative sites.

### Procedural Matter

3. The revised *National Planning Policy Framework* (The Framework) was published in July 2018, after the appeal was lodged, and I have had regard to it in my decision. However, those paragraphs of the superseded Framework (2012) to which the parties have referred, other than being renumbered and updated with regard to next generation technology, have not significantly changed in content. I am also satisfied that the development plan policies referred are up-to date. As such, I consider there are no relevant implications for this appeal arising from the revised Framework.

## Reasons

4. The appeal follows a decision by the Council not to give their approval for the siting or external appearance of a development that would otherwise be permitted under Schedule 2, Part 16, Class A, of the GPDO<sup>1</sup>. The permission granted under the GPDO is equal to an outline planning permission and the consideration of the proposed development is limited to its siting and appearance, not the principle of the development<sup>2</sup>.
5. The installation would be located adjacent to a traffic roundabout at the junction of five roads, with Droylsden Cemetery to the north-west of the site. There are a number of commercial uses close to the roundabout but otherwise the character of the immediate area is predominantly residential. The appellant explains that the installation is needed to provide new 3G and 4G coverage in the M43 postcode area; and with the potential for H3G LTE.
6. The Council has no objections to the proposed ground base equipment (cabinets), and I have no reason to form a different view. Its concerns relate solely to the visual effect of the proposed 20m high streetworks monopole on the character and appearance of the street scene and the wider area.
7. While it is not a prerequisite for prior approval cases to be determined in accordance with the development plan, the Council's policies are relevant as material considerations. Policy U2 of the *Tameside Unitary Development Plan, 2004* (UDP) says telecommunications development will be permitted where (a) there is no reasonable possibility of sharing existing facilities; (b) no unacceptable impact on the appearance of buildings, townscapes or the countryside; (c) the siting and appearance has been designed to minimise its visual impact; and (d) there is no possibility of erecting antennae on an existing building or structure. Amongst other things, UDP Policy C1 says the Council will expect open space features, topography and landscape character to be understood and taken into account.
8. Paragraph 112 of the Framework sets out that the expansion of electronic communications networks will be supported, including next generation technology. The anticipated improvements in coverage associated with this proposal accord with the thrust of national policy, and weigh in favour of the proposal.
9. The Council says the pole is over-scaled, would be widely visible and prominent in this location, and would dominate the street scene.
10. The landscaped area next to the roundabout is a focal point in the local street network and the location creates wider and more open views within this moderately high density area. It contains a range of existing street furniture including lamp posts, safety barriers, road signs and a distinctive ornamental feature. Behind this area is an attractive backdrop of mature trees.
11. From many viewpoints the backdrop of trees would mitigate the impact of the monopole, and from some viewpoints would mask all but the upper portion of the structure. However, it would rise considerably above the height of the trees in views westwards along Chappell Road and looking towards the site from both sections of Greenside Lane as they approach the roundabout. From these

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<sup>1</sup> *Town and Country Planning (General Permitted Development)(England) Order 2015* (as amended)

<sup>2</sup> *Murrell et al v SSCLG et al* [2012] P&CR 6, Court of Appeal and Appeal Decision Ref APP/C3430/A/12/2172974

directions, by reason of its height and somewhat stark appearance, the monopole would stand out as a visible and discordant feature.

12. As pointed out by the appellant, the area fronting the roundabout is commercial in nature, and I note that the height of the structure would be well below the maximum that can be permitted through the prior approval process. I also accept that its slim design is the minimum width possible for this type of installation and that views of the structure would be limited from within the residential areas which are located away from the roundabout.
13. Notwithstanding these mitigating factors, the pole would still be an incongruous feature when seen from certain viewpoints, and I conclude that the siting and appearance of the monopole would be moderately harmful to the character and appearance of the streetscape and surrounding area. As such it would conflict with UDP Policies U2 (b) and (c) and C1.

#### *Alternative Sites*

14. Paragraph 114 of the Framework says applications for telecommunications development should be supported with the necessary evidence to justify the proposal. This should include evidence that the applicant has explored the possibility of erecting antennas on an existing building, mast or other structure. The appellant says the appeal follows pre-and post-application discussions with the local planning authority; adding that the proposed installation is not an additional facility but simply a replacement for that at Greenside Mill where the site is to be redeveloped. The appellant says any new site needs to provide replica or improved coverage to the existing, and I accept that the appellant has tried to work with the local planning authority in a constrained search area to find a location that could be supported from a radio coverage perspective.
15. A number of alternative sites in the search area were suggested which are listed in the appellant's statement. However, after due consideration, all eight sites were discounted by the appellants or the landowner for various reasons. These included a lack of response from the landowner, technical difficulties, the site being too close to housing or schools, lack of space to house equipment, and because the site could not be progressed due to ownership issues.

#### **Conclusion**

16. Chapter 10 of the revised Framework sets out Government policy for supporting high quality communications infrastructure, which is essential for sustainable economic growth and plays an important role in the provision of local community services.
17. Given the need for a facility, which weighs in favour of the proposal, a balance needs to be carried out against any harm identified. It is important to note that this proposal falls within the parameters of 'permitted development' under the GPDO. *tablished'*
18. In this case the harm moderate harm I have identified in relation to the character and appearance of the streetscene and area would be significantly outweighed by the benefits provided by the improved network coverage and capacity for the local communities and businesses.

19. There is no authority in this type of case such cases to apply any further conditions beyond the deemed conditions for development by electronic telecommunications code operators as set out in the GPDO.
20. Therefore, for the reasons given above I conclude that the appeal should be allowed.

*Nigel Harrison*

INSPECTOR

**Application Number** 18/00099/FUL

**Proposal** Change of use of 27 bedroom residential care home (use class C2) to a house in multiple occupation (use class sui generis) of 27 rooms, including the allocation of 25 no. cycle storage spaces, associated car parking and amenity space.

**Site** Holly Grange, 17 Oxford Road, Dukinfield SK16 5PQ

**Applicant** Mr Dinesh Chinta

**Recommendation** Approve

**Reason for report** A Speakers Panel decision is required as the application constitutes major development.

## REPORT

### 1. APPLICATION DESCRIPTION

- 1.1 The applicant seeks planning permission for the change of use of the building from a residential care home (use class C2) to a House in Multiple Occupation (Use class sui generis). Whilst not stated on the forms it has become clear during the processing of the application that their application is retrospective.
- 1.2 The applicant has provided the following documents in support of the planning application:
  - Design and Access Statement

### 2. SITE & SURROUNDINGS

- 2.1 The application site comprises a two storey building constructed from brick elevations, with a rendered section in the north western corner fronting onto Oxford Road. Vehicular access to the site is gained via Lodge Lane, which runs parallel with the eastern boundary of the site. The main part of the building occupies the western part of the plot, with soft landscaping and a car parking area in the eastern portion of the land. Commercial development is located to the south and west of the site. Oxford Road runs parallel with the northern boundary of the land.

### 3. PLANNING HISTORY

- 3.1 There is no planning history on the site that is relevant to the determination of this application.

### 3. RELEVANT PLANNING POLICIES

#### 4.1 Tameside Unitary Development Plan (UDP) Allocation

The site is not allocated and is located within the settlement of Dukinfield

#### 4.2 Part 1 Policies

1.3: Creating a Cleaner and Greener Environment.

1.4: Providing More Choice and Quality Homes.

1.5: Following the Principles of Sustainable Development

## 1.12: Ensuring an Accessible, Safe and Healthy Environment

### 4.3 **Part 2 Policies**

H2: Unallocated sites  
H4: Type, size and affordability of dwellings  
H5: Open Space Provision  
H7: Mixed Use and Density.  
H10: Detailed Design of Housing Developments  
OL10: Landscape Quality and Character  
T1: Highway Improvement and Traffic Management.  
T10: Parking  
C1: Townscape and Urban Form  
C6: Setting of Listed Buildings  
N4: Trees and Woodland.  
N5: Trees Within Development Sites.  
N7: Protected Species  
MW11: Contaminated Land.  
U3: Water Services for Developments  
U4 Flood Prevention  
U5 Energy Efficiency

### 4.4 **Other Policies**

Greater Manchester Spatial Framework - Publication Draft October 2016;  
Residential Design Supplementary Planning Document; and,  
Trees and Landscaping on Development Sites SPD adopted in March 2007.

### 4.5 **National Planning Policy Framework (NPPF)**

Section 1 Delivering sustainable development  
Section 6 Delivering a wide choice of high quality homes  
Section 7 Requiring good design  
Section 8 Promoting healthy communities  
Section 11: Conserving and enhancing the natural environment

### 4.6 **Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

## 5. **PUBLICITY CARRIED OUT**

- 5.1 Neighbour notification letters were issued to all neighbouring properties and a notice displayed on site in accordance with the requirements of the Town and Country Planning (Development Management Procedure) (England) Order 2015.

## 6. **RESPONSES FROM CONSULTEES**

- 6.1 Local Highway Authority – Raises no objections to the proposals and no conditions are recommended.
- 6.2 Greater Manchester Police (Designing out Crime Officer) – no objections, subject to the incorporation of a number of security measures into the proposals. Measures include: gating the access to the site from Lodge Lane, securing the communal bike storage area,



- the installation of locks on external doors and windows and external security lighting. A management plan relating to the use of the external amenity areas will also be required.
- 6.3 Borough Environmental Health Officer (EHO) – no objection to the proposals subject to the imposition of a condition limiting the hours of work during the construction phase of the development.
- 6.4 Borough Contaminated Land Officer – No objection subject to an informative outlining the applicant’s responsibilities should sources of ground contamination be discovered during any construction works.

## **7. SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

- 7.1 No third party responses have been received to the application

## **8. ANALYSIS**

- 8.1 The issue to be assessed in the determination of this planning application are:
- 1) The principle of development
  - 2) The impact upon the residential amenity of neighbouring properties
  - 3) The impact on the character of the site and the surrounding area
  - 4) The impact on highway safety
  - 5) Other matters

## **9. PRINCIPLE OF DEVELOPMENT**

- 9.1 The site is located within close proximity of public transport services. Regular bus services run along Oxford Road, providing access to Hyde and Ashton. The site is within walking distance of a foodstore and the other services and facilities in Dukinfield town centre. This is therefore considered to be a sustainable location for a house in multiple occupation.
- 9.2 The proposal would include accommodation for a manager of the premises to live permanently on the site. Space is also allocated on the ground floor for a manager’s office. This provision would allow appropriate management of the facility and would ensure that activity on the site is regularly monitored. Specific details of the management arrangements and a restriction on the occupation of the accommodation to the manager of the facility and their family only can be secured by conditions, which are attached to the recommendation.
- 9.3 The NPPF sets a presumption in favour of sustainable development. The proposal would boost the supply of residential accommodation in the Borough through the re-development of a brownfield site. Given these factors and the above assessment, officers conclude that the principle of development is acceptable, subject to all other material considerations being satisfied.

## **10. RESIDENTIAL AMENITY.**

- 10.1 The scheme does not include any extension or external alterations to the building. An oblique relationship would be retained with the residential properties to the north west of the site, on the opposite side of Oxford Road. The substantial separation distances to the properties to the east, on the opposite side of Lodge Lane and on Hyde Street to the north east would also be retained. On that basis, the proposals would not result in any adverse impact through unreasonable overshadowing of or overlooking into any of those neighbouring properties.

- 10.2 The commercial uses to the south and west of the site are considered not to be of a scale that would result in an adverse impact on the occupants of the proposed development. This assessment is corroborated by the lack of objection from the Environmental Health Officer, who has not suggested any conditions in terms of noise impact.
- 10.3 The proposed room sizes are shown on the submitted plans. Certain rooms would be below the 11.5 square metres required for double rooms laid out in the national space standards. However, all of the bedrooms would meet the minimum 7.5 square metres required for single bedrooms to comply with the guidance and a number of the rooms would be substantially greater than 11.5 square metres in size. The communal rooms are considered to be of sufficient size to provide an adequate level of amenity to occupants of the development, following the inclusion of additional kitchen facilities in the amended scheme. On that basis, there is no evidence to suggest that the living accommodation is sub-standard or of an unsatisfactory quality.
- 10.4 A licence is not currently required for the proposed development at the time of determining this planning application as the accommodation would be over 2 storeys (only HMO's over 3 or more levels of accommodation currently require a licence.) As of October 2018, the licensing regime is changing and a licence will be required for the HMO. However, this is a matter separate from the planning system and the planning application must be determined against assessment of the relevant material considerations. In any case, details of the measures to be put in place to monitor the occupation of the premises can be secured as part of a wider management plan for the development.
- 10.5 It is considered that a condition limiting the total number of residents occupying the development at any one time would not be enforceable, given that people could reasonably be visiting residents and the difficulty in demonstrating harm from a planning perspective if an arbitrarily prescribed threshold was exceeded. The condition requiring the approval of management arrangements would allow specific measures to be agreed and a base from which any potential future breaches could be enforced.

## **11. CHARACTER OF THE SITE AND SURROUNDING AREA.**

- 11.1 Given that the proposals would not result in any extensions or external alterations to the building, it is considered that the proposals would not result in an adverse impact on the character of the site or the surrounding area.

## **12. HIGHWAY SAFETY**

- 12.1 The Local Highway Authority has not raised any objections to the proposals. The proposal would increase trip generation over and above the existing use as a care home, particularly during AM and PM peak periods. However, due to the nature of the proposed accommodation, the total number of trips throughout the day would be more limited than if the scheme proposed self-contained family dwellings (e.g. trips to school are less likely to feature in the proposed development.)
- 12.2 Approximately 10 car parking spaces could be safely provided within the hardstanding area in the eastern portion of the site (7 in front of the 'wing' which runs parallel with the northern boundary of the site and 3 adjacent to the southern boundary.) This would result in less than 50% car parking provision for the development. Policy RD8 of the Residential Design Guide advises that 1 car parking space be provided per 1 bed property, with 1 also set as the maximum provision in locations such as this. However, the application of maximum parking standards is no longer in accordance with national planning guidance.

- 12.3 The amended scheme also makes provision for 25 secure cycle stands, in addition to the car parking spaces to be provided on site. There are bus stops immediately to the north of the site on Oxford Road, providing access to regular services to Hyde and Ashton, as noted earlier in this report. These circumstances would improve the prospect of occupants of the development making trips to the services, facilities and employment in Ashton town centre via alternative means of transport to the private car.
- 12.4 Given these factors and in recognition of the limited weight to be attributed to the deficit in car parking provision in relation to the maximum requirements of policy RD8, it is considered that the proposed levels of parking provision would not be harmful to highway safety. A condition requiring exact details of the car parking arrangements to serve the development can be secured by condition.
- 12.5 It is therefore considered that the proposals would not result in a severe adverse impact on highway safety and in accordance with the guidance within paragraph 32 of the NPPF, planning permission should not be refused on this basis.

### **13. OTHER MATTERS**

- 13.1 The Environmental Health Officer has not raised any objections to the proposals, subject to conditions limiting the hours of work during the construction phase of the development. This condition is considered to be reasonable and necessary due to the close proximity of neighbouring properties and can be attached to the decision notice. A condition requiring the refuse storage arrangements serving the development to be implanted prior to the occupation of the development is also recommended to ensure that these facilities are provided and maintained.
- 13.2 In relation to drainage, the applicant has indicated on the application form that surface water and foul would be disposed of via connection to the mains sewerage network. Given the existing use of the site, it is considered that no further information is required in this regard to determine the planning application as further approvals will be required under the Building Regulations.
- 13.3 The Borough Contaminated Land Officer has not raised any objections to the proposals. An informative can be attached to the decision notice advising the applicant of their responsibilities should sources of contamination be encountered during the construction process.
- 13.4 In relation to crime impact, Greater Manchester Police have suggested a number of measures to be considered in the implementation of the development. The measures include gating the access to the site from Lodge Lane, securing communal bike storage area, the installation of locks on external doors and windows and external security lighting. A management plan relating to the use of the external amenity areas is also recommended. It is considered reasonable to impose a condition requiring the approval and implementation of measures to achieve 'Secured by Design' accreditation within 3 months of the date of this permission, with a defined period for implementation, in acknowledgement of the retrospective nature of the application. Management arrangements for the external areas can be included in the strategy relating to the overall development as referred to previously in this report.
- 13.5 In accordance with the Written Ministerial Statement (WMS) of 28 November 2014, no tariff based contributions are to be sought in relation to open space or education provision, as the proposal would not exceed 1000 square metres in floor area. The WMS is a material planning consideration, forming part of the Planning Practice Guidance and given the need to boost the supply of housing in sustainable locations (such as this site which is within

walking distance of a regular bus services, the public open space at Dukinfield Park and the facilities in Dukinfield town centre), as required by Section 6 of the NPPF, it is considered that financial contributions are not necessary to make the scheme acceptable in planning terms.

## **14. CONCLUSION**

- 14.1 As referred to in the description section earlier in this report, it has come to light during the processing of the application that work has commenced to convert the building to a HMO and as such the application is retrospective. The fact that the application is retrospective is not material to the assessment of the planning merits of the case and should not in itself be given weight in the decision making process. The material planning considerations are those which have been assessed in the main body of this report and are the basis on which the planning application should be determined.
- 14.2 The proposal is considered to be acceptable in principle given that the development would not involve significant alterations to the existing building or the site and residential use would not conflict with any of the neighbouring uses. Given that the windows within the building serve bedrooms in the existing established use of the building, it is considered that the proposals would not result in unreasonable overlooking of neighbouring properties to an extent that would be harmful to residential amenity. There would be no adverse impact on the character of the site or the surrounding area as no substantial changes are proposed to the exterior of the building.
- 14.3 The proposals are considered not to result in an adverse impact on highway safety. Whilst the level of parking provision would fall short of the maximum standards set out in the Residential Design Guide, the harm arising from this situation is considered to be reduced by the provision of 25 secured cycle parking spaces and the close proximity of regular public transport services to Ashton and Hyde. This mitigation, along with the close proximity of the services and facilities (including a foodstore) are considered to outweigh the conflict with local policy and avoid a 'severe' level of harm to highway safety.
- 14.4 Following the above assessment, it is considered that the proposals would comply with the aims and objectives of the national and local planning policies quoted above

## **RECOMMENDATION**

Grant planning permission, subject to the following conditions:

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
2. The development hereby approved shall be carried out in accordance with the following approved plans:  
  
1:1250 site location plan  
Amended proposed ground floor plan (drawing no. SAK-D-001 Rev. A)  
Amended proposed first floor plan (drawing no. SAK-D-002 Rev. A)  
Proposed landscaping and outdoor seating plan (drawing no. P106 Rev. A)
3. Notwithstanding the details on the approved plans, within 3 months of the date of this planning permission, scaled plans showing the location of a minimum of 10 car parking spaces within the curtilage of the building shall be submitted to and approved in writing by the Local Planning Authority. The car parking arrangements shall be implemented in

accordance with the approved details within 1 month of the date of the decision notice discharging this condition and the spaces shall be retained free from obstruction for their intended use at all times thereafter

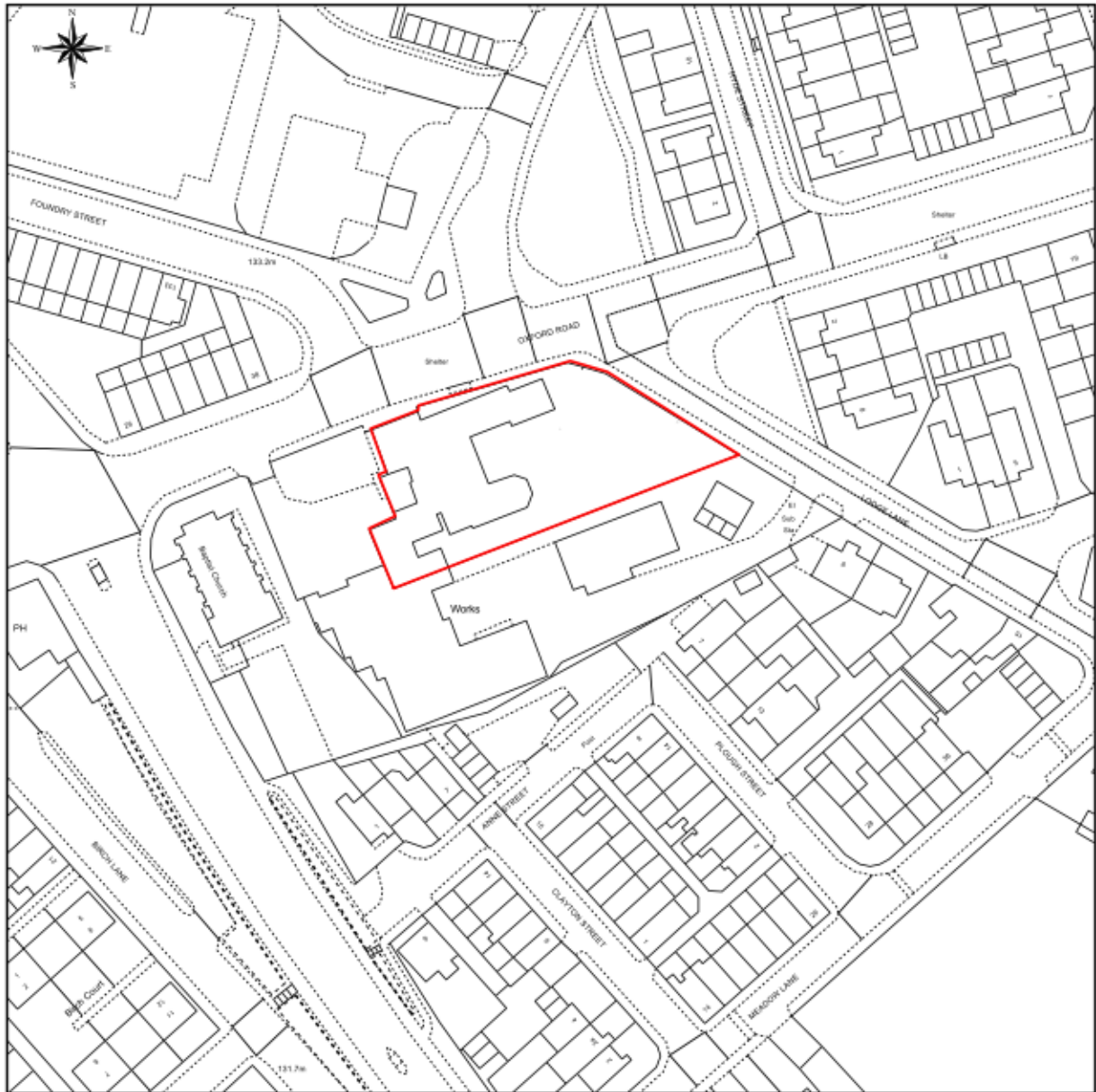
4. Within 3 months of the date of this planning permission, details of the measures to be put in place to ensure that the house in multiple occupation is managed to preserve the residential amenity of neighbouring properties and the visual amenity of the surrounding area shall be submitted to and approved in writing by the Local Planning Authority. The details shall include measures to manage areas both within and external to the building within the site and details of how the occupation of the premises is to be monitored. The management arrangements shall be implemented in accordance with the approved details within 1 month of the date of the decision notice discharging this condition and shall remain in force at all times thereafter
5. The part of the development hereby approved labelled 'manager's accommodation' on the approved ground floor plan (drawing no. SAK-D-001 Rev. B) shall be occupied only by the manager of the facility and the partner, spouse or dependant(s) of that person.
6. Within 3 months of the date of this planning permission, a Crime Impact Statement shall be submitted to and approved in writing by the Local Planning Authority. The statement shall indicate how the design of the development meets the requirements of the document Secured by Design Homes 2016 or guidance which supersedes that document. The approved details shall be implemented within 1 month of the date of the decision notice discharging this condition and shall be retained as such thereafter.
7. Within 3 months of the date of this planning permission, details (including scaled plans and details of the construction materials) of the means of enclosure of the bin storage arrangements to serve the development shall be submitted to and approved in writing by the Local Planning Authority. The bin storage arrangements shall be installed in the location indicated on the approved site plan (drawing no. SAK-D-001 Rev. B), in accordance with the approved details, within 1 month of the date of the decision notice discharging this condition and shall be retained as such thereafter.
8. The construction materials used in any external works to the building to facilitate the use hereby approved shall match in type, colour and external appearance the construction materials of the existing building on the application site on the date of this notice.
9. During demolition/construction no work (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank or Public Holidays.

Reasons for conditions:

1. Required to be imposed by Section 91 of the Town and Country Planning Act 1990 as amended by Section 51 of the Planning and Compulsory Purchase Act 2004
2. For the avoidance of doubt.
3. To ensure that the development is served by adequate parking provision.
4. To ensure that the use hereby approved preserves the residential amenity of neighbouring properties and the character of the site and the surrounding area.
5. To ensure that a management presence is maintained on the site at all times.

6. To ensure that the development is designed to minimise opportunities for crime.
7. To provide adequate secure bin storage to serve the development and to safeguard the general amenity of the area in accordance with UDP policy 1.12/1.13/H10.
8. To ensure that the development reflects the character of the site and the surrounding area.
9. In order to protect the amenities of nearby residents in accordance with Unitary Development Plan policies 1.12 and H10.

# Holly Grange Rest Home



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0m 20m 40m 60m 80m 100m

Scale: 1:1250, paper size: A4

P101

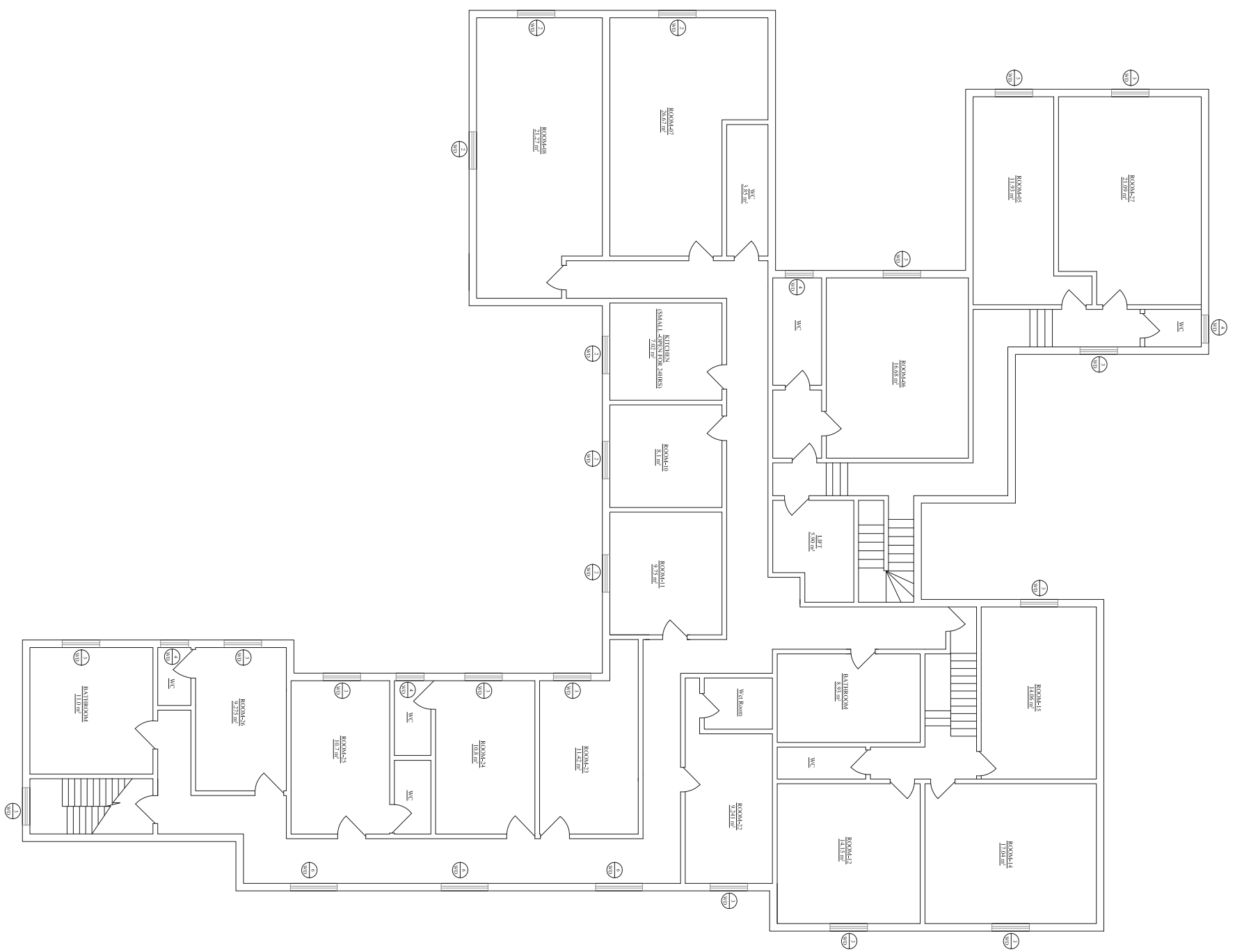
Location and Site plan

17 Oxford Road  
Dukinfield  
Tameside  
SK16 5PQ



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**PROPOSED FIRST FLOOR PLAN**

NO.	DATE	DESCRIPTION	BY	CHKD	APPD
1	08/01/18	FOR APPROVAL	WJMS	XXX	XXX
2			OWN		
3			CHG		
4			APP		

FOR APPROVAL

OWNER:  
**HOLLYGRANIE HOUSE DUKINFIELD LTD**

PROJECT TITLE:  
**Change of Use (Care Home to HMO)**

ADDRESS:  
**Holly Grange Rest Home  
17, Oxford Road  
Dukinfield, SK16 5PQ**

**PROPOSED FIRST FLOOR PLAN**

SCALE	REF. NUMBER	REV.	SHEET NO.
1/125	SKK-D-002	REV. A	1/1

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# PROPOSED GROUND FLOOR PLAN

NO.	DATE	DESCRIPTION	BY	CHECKED	DATE
1	08/06/17	FOR APPROVAL	MMMS	XXXX	XXXX
2			OWN	CHGD	APPR

FOR APPROVAL

OWNER: HOLLYGRANE HOUSE DUKINFELD LTD

PROJECT TITLE: Change of Use (Care Home to HMO)

ADDRESS: Holly Grange Rest Home  
17, Oxford Road  
Dukinfield, SK16 5PQ

## PROPOSED GROUND FLOOR PLAN

SCALE	REF. NUMBER	REV.	SHEET NO.
1/75	SK-D-001	Rev. A	1/1

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**Application Number: 18/00099/FUL Holly Grange Dukinfield**

**Photo 1 – view of entrance to the site from Lodge Lane**



**Photo 2 – view looking north west from site entrance towards Lodge Lane/Oxford Road junction.**





**Photo 3 – view looking south east from site entrance along Lodge Lane**



**Photo 4 – view of existing building from entrance to the site**



**Photo 5 – view of car parking area to the front of the building**



**Photo 6 - view looking westwards along northern boundary of the site with Oxford Road**





**Photo 7 - view of commercial uses to the south of the site**





**Application No.:** 18/00125/FUL

**Proposal:** Single storey rear extension, replacement external staircase to first floor and alteration to shop front.

**Site:** 121 – 123 Haughton Green Road, Denton

**Applicant:** The Green Funeral Services, 121 – 123 Haughton Green Road, Denton

**Recommendation:** APPROVE

**Reason for Report:** Councillor Reid has requested that the application be determined by the Speakers Panel (Planning)

## REPORT

### 1. SITE & SURROUNDINGS

- 1.1 121 – 123 Haughton Green Road is a two storey building which is part of a terrace within a mixed area of retail and residential uses on Haughton Green Road, Denton. The ground floor is currently in use as a funeral directors. There is a self-contained flat on the first floor. To the rear of the site is a small enclosed yard area. Access to both the funeral directors and self-contained flat is from Haughton Green Road. An external staircase to the rear of the premises provides access from the first floor flat to the rear yard area.
- 1.2 Adjoining uses include a shop at 119 Haughton Green Road and a dwelling house at 125 Haughton Green Road. Residential properties lie opposite the site. A landscaped area of land adjoins the rear boundary of the site, beyond which lie residential properties on Greendale Grove.

### 2. APPLICATION DESCRIPTION

- 2.1 The application seeks planning permission for various alterations to the existing ground floor premises and first floor flat which can be summarised as follows:
- A new shop front including the removal of the existing entrance door to the first floor flat.
  - A single storey rear extension to provide additional floor space for the ground floor use. Specifically the extension will be used as a chapel of rest and preparation area.
  - The relocation of the existing external staircase to the rear.
- 2.2 Since the original submission, the application site boundary has been amended to incorporate an additional piece of land to the rear of the site adjoining Greendale Grove. This is to facilitate the provision of a pedestrian access to the first floor flat. In addition, the position regarding the access arrangements for both the ground floor use and first floor flat has been clarified by the applicant in an 'operation statement'. This statement confirms that access to and from the ground floor use will not change from the existing arrangements which are from Haughton Green Road. The pedestrian access from Greendale Grove will be for the first floor flat only.

### 3. PLANNING HISTORY

- 3.1 There is no relevant planning history relating to the application site.

#### **4. RELEVANT PLANNING POLICIES**

- 4.1 Tameside Unitary Development Plan (UDP) Allocation
- 4.2 Unallocated, within the settlement of Haughton Green, Denton.

#### 4.3 Local Shopping Centres and Parades

#### 4.4 **Part 1 Policies**

- 1.3: Creating a Cleaner and Greener Environment.
- 1.5: Following the Principles of Sustainable Development
- 1.12: Ensuring an Accessible, Safe and Healthy Environment

#### 4.5 **Part 2 Policies**

- H10: Detailed Design of Housing Developments
- T10: Parking
- S9: Detailed Design of Retail and Leisure Developments
- C1: Townscape and Urban Form
- C11: Shop Fronts
- MW11: Contaminated Land

#### 4.6 **Other Policies**

- Tameside Residential Design Supplementary Planning Document
- Haughton Green Supplementary Planning Document

#### 4.7 **National Planning Policy Framework (NPPF)**

- Section 7 Requiring good design
- Section 8 Promoting healthy communities

#### 4.8 **Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

#### **5. PUBLICITY CARRIED OUT**

- 5.1 Neighbour notification letters were issued in accordance with the requirements of the Town and Country Planning (Development Management Procedure) (England) Order 2015 and the Council's adopted Statement of Community Involvement.

#### **6. RESPONSES FROM CONSULTEES**

- 6.1 Head of Environmental Services - Environmental Protection have no objections to the proposal.
- 6.2 Head of Environmental Services – Highways have no objections to this proposal.
- 6.3 The Coal Authority – No objections to this proposal but given location of application site in the interests of public safety, recommend an informative relating to development within areas which have been defined by the Coal Authority as containing potential hazards arising from former coal mining activity.

## 7. SUMMARY OF THIRD PARTY RESPONSES RECEIVED

- 7.1 Councillor Reid has requested that the application be determined by Speakers Panel.
- 7.2 In response to the original notification, 8 letters of objection were received from the occupiers of nearby residential properties. Main points raised:
- Object to new access at rear of site onto Greendale Grove
  - Object to the use of the rear gate/access on Greendale Grove by funeral directors
  - There will be an increase in traffic, noise and disturbance from the use of rear access
  - Greendale Grove is a residential street and should not be used for commercial purposes
  - Proposal will exacerbate existing parking problems on Greendale Grove.
  - The proposal will have a detrimental impact on highway safety and residential amenity
  - There are no other business premises on Haughton Green Road which have direct access onto Greendale Grove
  - There is a one metre wide landscaping strip separating the application site from Greendale Grove. Object to the loss of this greenery.
  - Where will residents of the first floor flat park?
  - Noise and disturbance during construction period whilst building work takes place.
- 7.3 1 additional letter of objection was raised to the amended plans/additional information. No new issues have been raised.

## 8. ANALYSIS

- 8.1 In accordance with the NPPF and Tameside UDP policies C1, C11, S9 and H10, the main issues raised by the application relate to the following:
- Impact on the character and appearance of the surrounding area;
  - Impact on residential amenity; and,
  - Impact on highway safety
- 8.2 The above matters are considered in more detail below.
- Impact on character and appearance of surrounding area**
- 8.3 In terms of its detailed design, UDP Policies S9 and C11 require extensions to retail premises and new shop fronts to respect the materials, design, scale and character of the existing building and surrounding shop fronts. Section 7 of the NPPF also makes clear the importance of good design in new development.
- 8.4 The application premises occupy a prominent position facing a main road frontage. Whilst the row of properties in which the premises sit is fairly uniform in terms of its style and design, there is some variation in terms of window design and fenestration details. The proposed new shop front is considered acceptable in terms of its detailed design and the proposed materials are considered to be in keeping with the existing property and general street scene.
- 8.5 The proposed extension to the rear of the premises is relatively small scale in terms of its size and floor area created. Its flat roofed design will match the roof style on the existing single storey outrigger at the application premises. As a result it is not considered that the proposal would have any undue impact on the general street scene or character of the surrounding area.
- 8.6 Overall it is considered that the detailed design of the shop front and rear extension are in keeping with that of the existing premises and in complete accordance with UDP Policy C11 and S9.

### **Residential Amenity**

- 8.7 The NPPF outlines the importance of planning in securing good standards of amenity for future and existing occupiers of land and buildings. Saved UDP H10 seeks to ensure that new development does not result in any detrimental impact on the residential amenities of existing occupiers through loss of privacy, overshadowing or outlook.
- 8.8 The Residential Design SPD expands on issues covered by criteria under Policy H10 with, amongst other matters, the requirement to limit the size of single storey rear extensions using a 60 degree line when taken from the nearest habitable room window on the adjoining property in order to protect the residential amenity of occupiers thereof.
- 8.9 In this particular case, the single storey rear extension complies with the Councils UDP Policy and SPD on Residential Design with regard to its relationship to the adjoining properties at 119 and 125 Haughton Green Road. As a result it is not considered that any undue overshadowing or loss of outlook to the adjoining occupiers would result from this part of the proposal.
- 8.10 With regard to the proposed external staircase, it is noted that this will replace an existing external staircase at the application site albeit in a slightly revised location with an elongated raised walkway above the proposed flat roofed extension. Having regard to the siting and design of this part of the proposal, it is not considered that the replacement external staircase will result in any greater overlooking to the occupiers of 119 and 125 Haughton Green Road than the existing situation.
- 8.11 In order to protect the privacy and amenity of adjoining occupiers, a planning condition could be attached to any planning permission to prevent the roof area of the proposed rear extension being used as a balcony or seating area.

### **Highway Safety**

- 8.12 With regard to impact on highway and pedestrian safety in relation to the formation of the new pedestrian access to the rear of the site onto Greendale Grove, this is considered to be acceptable in terms of its siting and location.
- 8.13 The applicant has confirmed that this will only be used for access to the first floor flat and that the existing access, egress and parking arrangements for the ground floor use will remain unaltered as a result of this proposal. If Members are minded to approve this application, a planning condition can be attached to any planning permission to ensure that the rear access is only used in connection with the first floor accommodation and not for any purposes in connection the ground floor commercial use of the building.
- 8.14 The existing first floor flat does not benefit from any off street car parking facilities. It is acknowledged that the new access arrangements to the flat from Greendale Grove may impact upon existing neighbouring residents in terms of accessibility to on street parking. Whilst the concerns of residents in this regard are noted, it is not considered that the additional demand for parking resulting from this aspect of the proposal will increase demand for on street parking to such an extent to warrant the refusal of this application. Of relevance in this regard is also the relatively accessible location of the application site which is served by public transport.
- 8.15 The new shop front will not alter the existing pedestrian access/egress into the premises from Haughton Green Road. The proposal is acceptable in this regard.

### **Other Matters**

- 8.16 It is acknowledged that the provision of the pedestrian access to the rear of the site will result in the loss of some planting/greenery adjacent to Greendale Grove. The narrow parcel of land the subject of this application forms part of a wider buffer of planting comprising trees and shrubs. No trees within the landscaped buffer are protected by a

tree preservation order (TPO). Given the size of land to be utilised for the pedestrian access, it is not considered that the loss of any trees and shrubs associated with this part of the proposal will be so detrimental to the visual amenities of the surrounding area to warrant the refusal of the application.

- 8.17 The concerns of local residents relating to the use of Greendale Grove for purposes associated with the operation of the funeral directors are noted. The applicant has subsequently clarified the position regarding access to and from the funeral directors which will be the same as the existing arrangements; i.e. from Haughton Green Road.

## **9. CONCLUSION**

- 9.1 To conclude, it is considered that the application is in accordance with UDP policies C1, C11, S9 and H10 together with the Councils adopted SPD on Residential Design and Haughton Green and is therefore recommended for approval.

## **RECOMMENDATION**

Grant planning permission subject to the following conditions and standard reasons:

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
2. The materials to be used in the construction of any external work including bricking up any existing window/door openings shall match as closely as possible the corresponding materials in the existing building.
3. The pedestrian access gate from Greendale Grove shall be used only to provide access via the proposed external staircase to the first floor flat only and for no other reason.
4. The flat roof area above the ground floor extension and indicated as 'New flat roof to new extension' on the approved drawing (3692 201 Rev A) shall not be used as any form of balcony, amenity or sitting out area without the prior written approval of the Local Planning Authority.
5. Prior to installation, the external staircase hereby approved shall be painted in a colour which shall first have been submitted to and agreed in writing by the Local Planning Authority. The external staircase shall be installed in accordance with the approved details.
6. During demolition/construction no work (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank Holidays.
7. The development hereby approved shall be carried out in accordance with the following approved drawings received by the Council on 16 April 2018 and 11 July 2018 namely:

3692 501 Rev B (Block Plan)  
3692 300 Rev F (Proposed Elevations)  
3692 210 Rev A (Proposed First Floor Plan)  
3692 200 Rev F (Proposed Ground Floor Plan)  
3692 002 Rev C (Existing Elevations)  
3692 001 Rev C (Existing Plans)  
3692 500 Rev B (Location Plan)

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Application for Planning Permission.  
Town and Country Planning Act 1990

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Applicant Name, Address and Contact Details**

Title:  First Name:  Surname:

Company name:

Street address:

Telephone number:

Mobile number:

Town/City:  Fax number:

Country:

Postcode:  Email address:

Are you an agent acting on behalf of the applicant?  Yes  No

**2. Agent Name, Address and Contact Details**

Title:  First Name:  Surname:

Company name:

Street address:

Telephone number:

Mobile number:

Town/City:  Fax number:

Country:

Postcode:  Email address:

**3. Description of the Proposal**

Please describe the proposed development including any change of use:

Has the building, work or change of use already started?  Yes  No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:  Suffix:

House name:

Street address:

Town/City:

Postcode:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:

Northing:

#### 5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes  No

#### 6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes  No

Are there any new public roads to be provided within the site?

Yes  No

Are there any new public rights of way to be provided within or adjacent to the site?

Yes  No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

Yes  No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan(s)/drawings(s)

#### 7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

Yes  No

If Yes, please provide details:

Have arrangements been made for the separate storage and collection of recyclable waste?

Yes  No

If Yes, please provide details:

#### 8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff

Do any of these statements apply to you?

Yes  No



## 8. Authority Employee/Member

(d) related to an elected member

## 9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

### Doors - description:

Description of *existing* materials and finishes:

Timber

Description of *proposed* materials and finishes:

UPVC / Aluminium

### Roof - description:

Description of *existing* materials and finishes:

Slate (to main building)

Description of *proposed* materials and finishes:

Parapet wall with flat roof (single ply roof membrane)

### Walls - description:

Description of *existing* materials and finishes:

Brickwork

Description of *proposed* materials and finishes:

Brickwork to match the existing

### Windows - description:

Description of *existing* materials and finishes:

Timber and UPVC

Description of *proposed* materials and finishes:

UPVC / Aluminium

### OTHER - description:

Type of other material:

Description of *existing* materials and finishes:

Exterior metal stairs

Description of *proposed* materials and finishes:

Exterior metal stairs to replace the existing

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

Yes  No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

3692\_001-Existing Plan  
3692\_002-Existing Elevations  
3692\_200-Proposed Ground Floor Plan  
3692\_201-Proposed First Floor Plan  
3692\_300-Proposed Elevation  
3692\_500-Location Plan  
3692\_501-Block Plan

## 10. Vehicle Parking

No Vehicle Parking details were submitted for this application

## 11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer	<input checked="" type="checkbox"/>	Package treatment plant	<input type="checkbox"/>	Unknown	<input type="checkbox"/>
Septic tank	<input type="checkbox"/>	Cess pit	<input type="checkbox"/>	Other	<input type="checkbox"/>

## 11. Foul Sewage

Are you proposing to connect to the existing drainage system?  Yes  No  Unknown

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

Minor re-routing and connection to existing drainage only.

## 12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

Yes  No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

Yes  No

Will the proposal increase the flood risk elsewhere?

Yes  No

How will surface water be disposed of?

Sustainable drainage system

Main sewer

Pond/lake

Soakaway

Existing watercourse

## 13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

Yes, on the development site  Yes, on land adjacent to or near the proposed development  No

b) Designated sites, important habitats or other biodiversity features

Yes, on the development site  Yes, on land adjacent to or near the proposed development  No

c) Features of geological conservation importance

Yes, on the development site  Yes, on land adjacent to or near the proposed development  No

## 14. Existing Use

Please describe the current use of the site:

Funeral services

Is the site currently vacant?

Yes  No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated?

Yes  No

Land where contamination is suspected for all or part of the site?

Yes  No

A proposed use that would be particularly vulnerable to the presence of contamination?

Yes  No

## 15. Trees and Hedges

Are there trees or hedges on the proposed development site?

Yes  No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

Yes  No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste?

Yes  No

## 17. Residential Units

Does your proposal include the gain or loss of residential units?

Yes  No

Market Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Market Housing Total

Market Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Market Housing Total

Social Rented Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Social Housing Total

Social Rented Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Social Housing Total

Intermediate Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Intermediate Housing Total

Intermediate Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Intermediate Housing Total

## 17. Residential Units

Key Worker Housing - Proposed					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Proposed Key Worker Housing Total

Key Worker Housing - Existing					
	Number of bedrooms				
	1	2	3	4+	Unknown
Bedsits/Studios					
Cluster Flats					
Flats/Maisonettes					
Houses					
Live-Work Units					
Sheltered Housing					
Unknown					

Existing Key Worker Housing Total

## 18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

Yes  No

Use Class/type of use	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
A1 - Shops Net Tradable Area	67	0	20	20
Total	67	0	20	20

For hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms:

Use Class/types of use	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms

## 19. Employment

No Employment details were submitted for this application

## 20. Hours of Opening

No Hours of Opening details were submitted for this application

## 21. Site Area

What is the site area?



## 22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

Yes  No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

### 23. Hazardous Substances

Is any hazardous waste involved in the proposal?

Yes  No

#### A. Toxic substances

Amount held on site

Tonne(s)

#### B. Highly reactive/explosive substances

Amount held on site

Tonne(s)

#### C. Flammable substances (unless specifically named in parts A and B)

Amount held on site

Tonne(s)

### 24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent  The applicant  Other person

### 25. Certificates (Certificate B)

#### Certificate of Ownership - Certificate B

#### Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) and/or agricultural tenant (*"agricultural tenant" has the meaning given in section 65(8) of the Town and Country Planning Act 1990*) of any part of the land or building to which this application relates.

Owner/Agricultural Tenant	Date notice served
Name: <input type="text" value="Estates &amp; Management Ltd"/>	<input type="text" value="05/07/2018"/>
Number: <input type="text" value="302"/> Suffix: <input type="text"/> House name: <input type="text" value="Molteno House"/>	
Street: <input type="text" value="Regents Park Road"/>	
Locality: <input type="text"/>	
Town: <input type="text" value="London"/>	
Postcode: <input type="text" value="N3 2JX"/>	

Title:  First name:  Surname:

Person role:  Declaration date:   Declaration made

### 26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



Date

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**Operation Statement**

**Applicant:** Mrs. Pauline McDonald  
The Green Funeral Services Ltd  
121-123 Haughton Green Road  
Denton  
M34 7PW

**Site Address:** The Green Funeral Services Ltd  
121-123 Haughton Green Road  
Denton  
M34 7PW

**Proposal:** Single storey rear extension, replacement of external staircase to rear of building to first floor flat and alteration to shop front.

**Agent:** Aran Property Consultants Ltd  
Sunningdale House  
Stamford Square  
11 George Street  
Altrincham  
WA14 1RJ

**Prepared by:** Mr. Andrew Newton  
  
T: +44 (0) 161 660 4420  
M: +44 (0) 7824 374374

**Date:** 06/07/2017

## Contents

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Operation Statement.....	Page 4



## **Introduction and Background**

This Operation Statement is submitted to Tameside Metropolitan Borough Council in support of a planning application for a single storey rear extension, replacement of external staircase to the rear of the building to the first floor flat and alteration to the shop front at The Green Funeral Services Ltd, 121-123 Haughton Green Road, Denton, M34 7PW.

Mrs. McDonald has commissioned Aran Property Consultants Ltd to prepare the planning application inclusive of the associated documentation and submit on her behalf.

This Operation Statement report should be read in conjunction with the following.

1. Drawings attached to the application.

This Operational Statement is to confirm that once the extension has been erected how the operationally the business will operate.

## Operation Statement

The proposed single storey rear extension will be used as a chapel of rest and preparation area. The remainder of the existing ground floor will be split in to a reception / administration area, a second chapel of rest, office, disabled WC, kitchen and circulation space.

The departed will arrive via the front door only and be wheeled through reception along the corridor to the rear preparation area. Once the departed have been arranged, they will be wheeled back along the corridor through reception and out the front door only to the waiting hearse at the front of the building.

Referring to drawing number 3692\_200 we have allowed for a straight line between the front door and preparation area in order to facilitate easy access for the trolley.

Please note that under no circumstances will the aforementioned be conducted via the rear access. You will note from drawing 3692\_200 that the garden area leading from the double French doors of the preparation area does not provide access to Greendale Grove to the rear. The previously described is operationally how business is conducted currently and there will be no change despite the proposed extension.

Note that the windows to the preparation area and chapel of rest will have blinds or be opaquely glazed.

The pedestrian access gate from Greendale Grove will provide access via a new metal staircase to the first floor flat only. A new 1.8m high fence and planting is also proposed to the rear of the garden of the site to provide adequate screening.

This drawing is to be read in conjunction with all relevant drawings.

The main contractor/builder is to interpret the requirements in relationship to the site conditions encountered and as agreed with the Building Control officer.

All dimensions and sizes to be verified on site, any discrepancies to be reported to the client/project manager. These annotations were prepared for planning and/or building control submission only.

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B	Redline boundary amended -	AN	06/07/18
A	Re-Issue for Planning Permission	PB	12/02/18
Rev	Description	By	Date
Initial Issue: 13/09/2017			

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Houghton Green Road  
 Denton  
 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension  
 & Interior Alteration

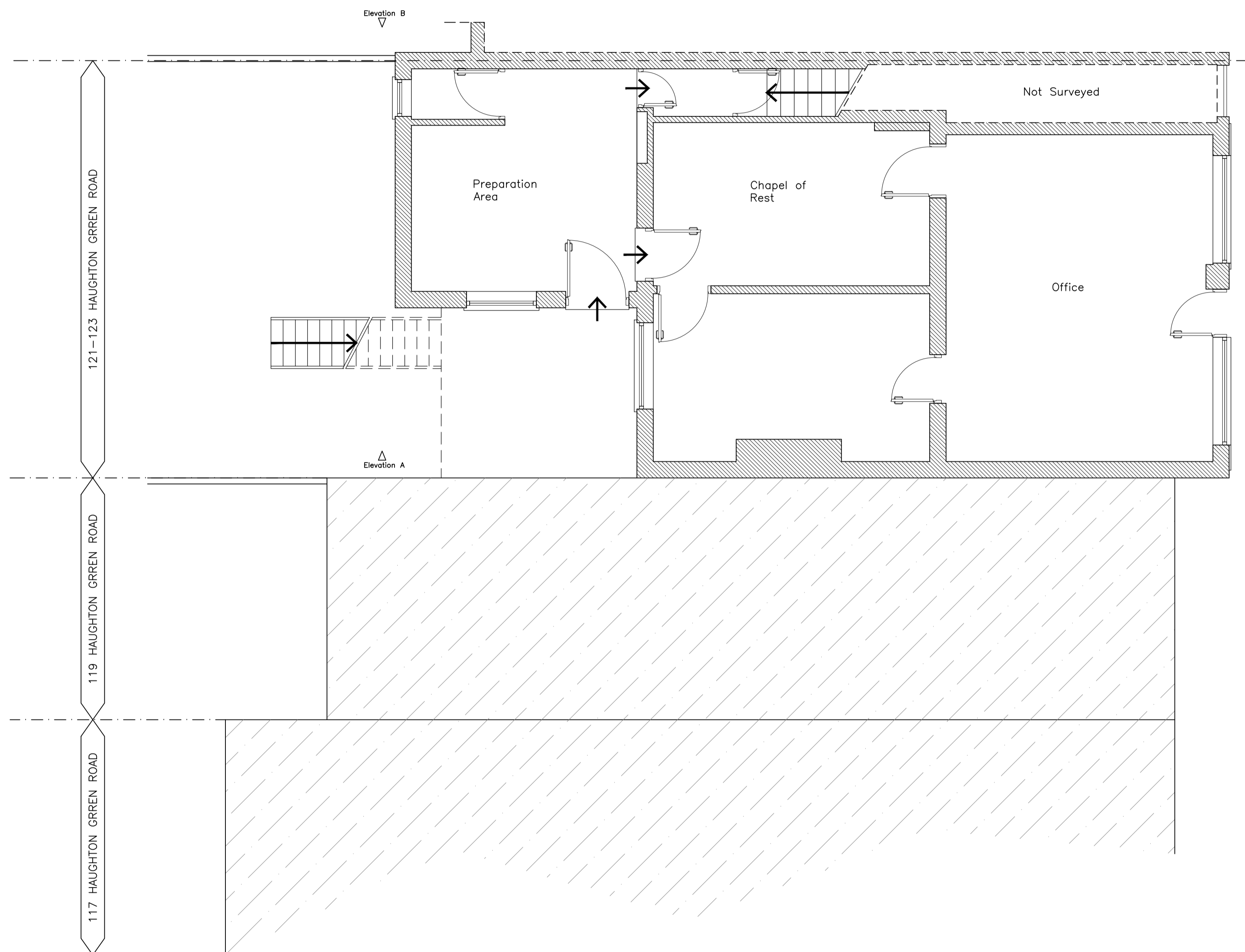
**DRAWING TITLE**  
 Location Plan

Drawn by: PB      Checked by: AN  
 Date: 13/09/2017      Scale: 1:1250@A3

**aran**  
  
 Sunningdale House  
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 11 George Street  
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Job Ref.	Drawing No.	Revision
3692	500	B

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Existing Ground Floor Plan  
 SCALE 1:50

PLEASE NOTE: SCALE  
 1:50@A1 OR 1:100@A3

Rev	Description	By	Date
C	Re-Issue for Planning Permission	AN	06/07/18
B	Issue for Planning Permission	PB	12/02/18
A	Client Issue	PB	20/09/17

Initial Issue: 13/09/2017

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Haughton Green Road  
 Denton  
 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension  
 & Interior Alteration

**DRAWING TITLE**  
 Existing Plan

Drawn by: PB      Checked by: AN  
 Date: 13/09/2017      Scale: 1:50@A1

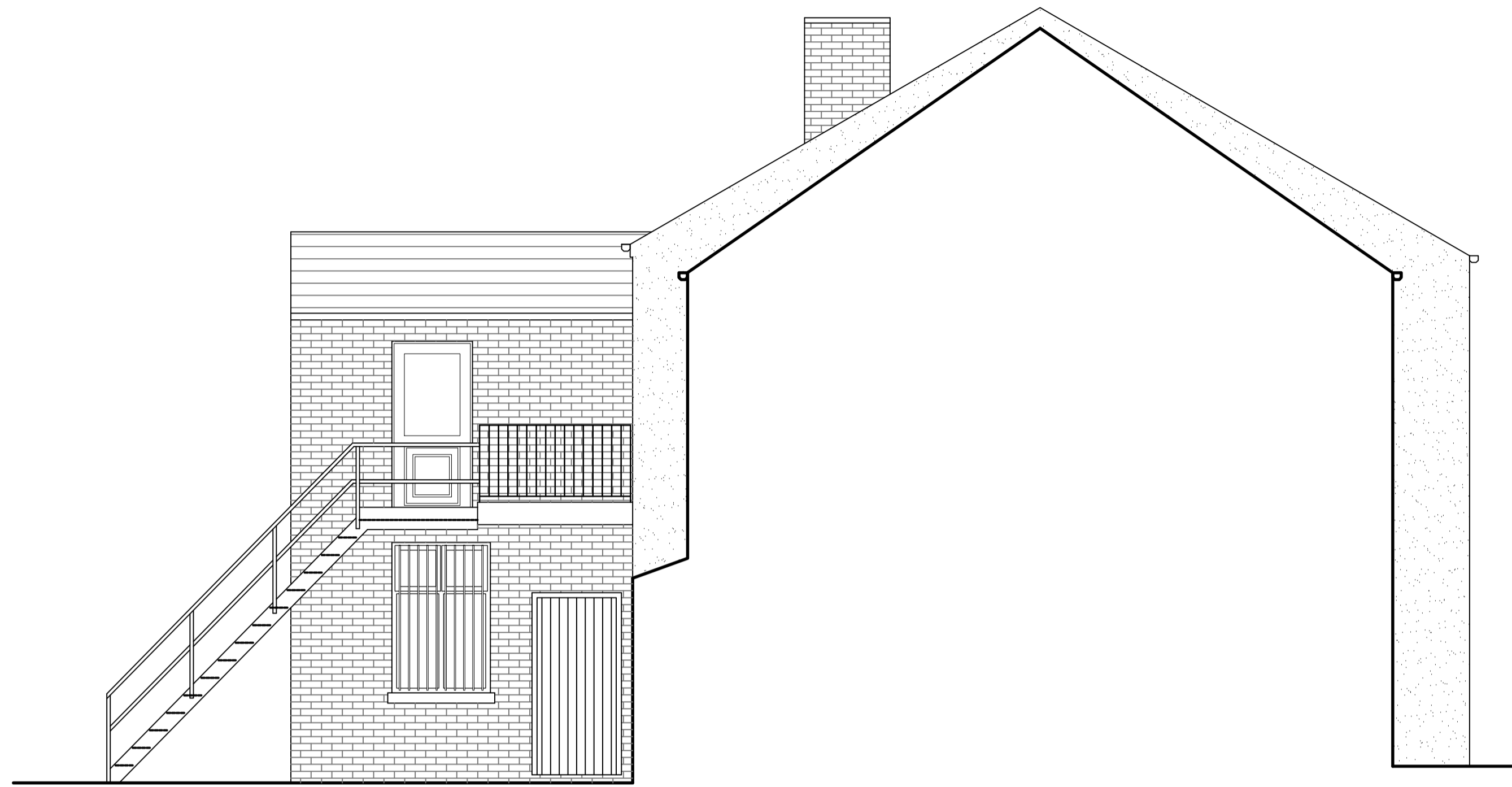
**aran**  
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Job Ref.	Drawing No.	Revision
3692	001	C

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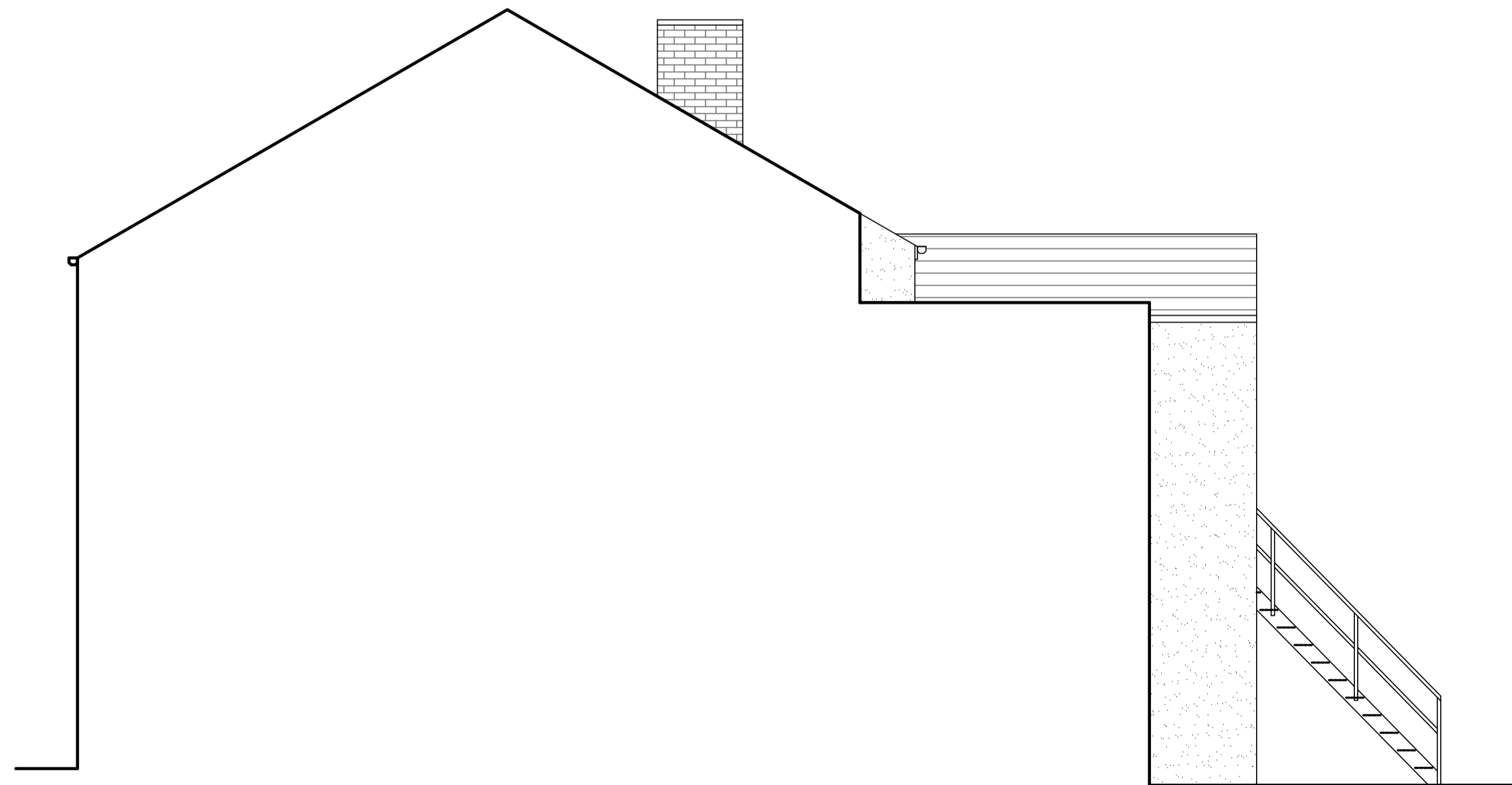
Existing Front Elevation



Existing Side Elevation A



Existing Rear Elevation



Existing Side Elevation B

PLEASE NOTE: SCALE  
 1:50@A1 OR 1:100@A3

Rev	Description	By	Date
C	Re-issue for Planning Permission	AN	06/07/18
B	Issue for Planning Permission	PB	12/02/18
A	Client Issue	PB	20/09/17

Initial Issue: 13/09/2017

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Haughton Green Road  
 Denton  
 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension  
 & Interior Alteration

**DRAWING TITLE**  
 Existing Elevations

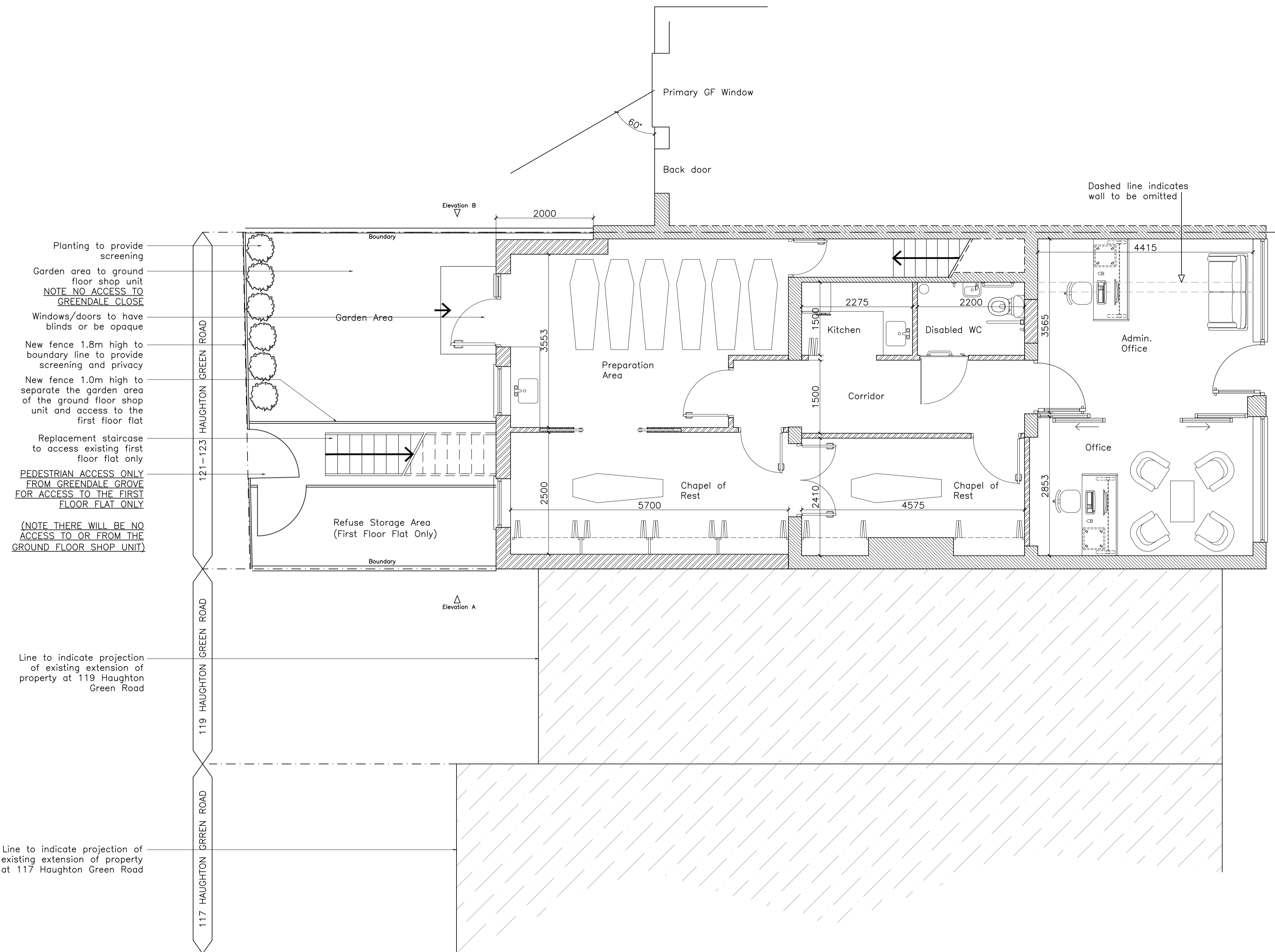
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3692	002	C

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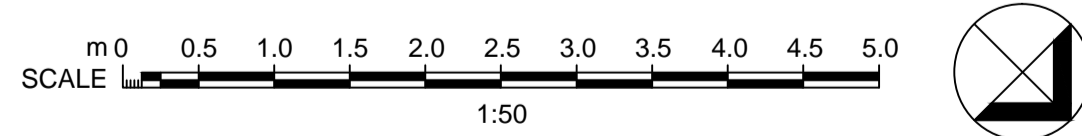


Planting to provide screening  
 Garden area to ground floor shop unit  
**NOTE NO ACCESS TO GREENDALE CLOSE**  
 Windows/doors to have blinds or be opaque  
 New fence 1.8m high to boundary line to provide screening and privacy  
 New fence 1.0m high to separate the garden area of the ground floor shop unit and access to the first floor flat  
 Replacement staircase to access existing first floor flat only  
**PEDESTRIAN ACCESS ONLY FROM GREENDALE GROVE FOR ACCESS TO THE FIRST FLOOR FLAT ONLY**  
**(NOTE THERE WILL BE NO ACCESS TO OR FROM THE GROUND FLOOR SHOP UNIT)**

Line to indicate projection of existing extension of property at 119 Haughton Green Road

Line to indicate projection of existing extension of property at 117 Haughton Green Road

Proposed Ground Floor Plan



**PLEASE NOTE: SCALE 1:50@A1 OR 1:100@A3**

F	Garden and back yard area amended to include a fence, additional annotation added to drawing - Re-Issue for Planning Permission	AN	06/07/18
E	Issue for Planning Permission	KT	16/05/18
D	Issue for Planning Permission	PB	12/02/18
C	Issue for Client Comment	PB	09/11/17
B	Issue for Client Comment	PB	20/10/17
A	Issue for Client Comment	PB	20/09/17
Rev	Description	By	Date
Initial Issue: 13/09/2017			

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Haughton Green Road  
 Denton  
 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension & Interior Alteration

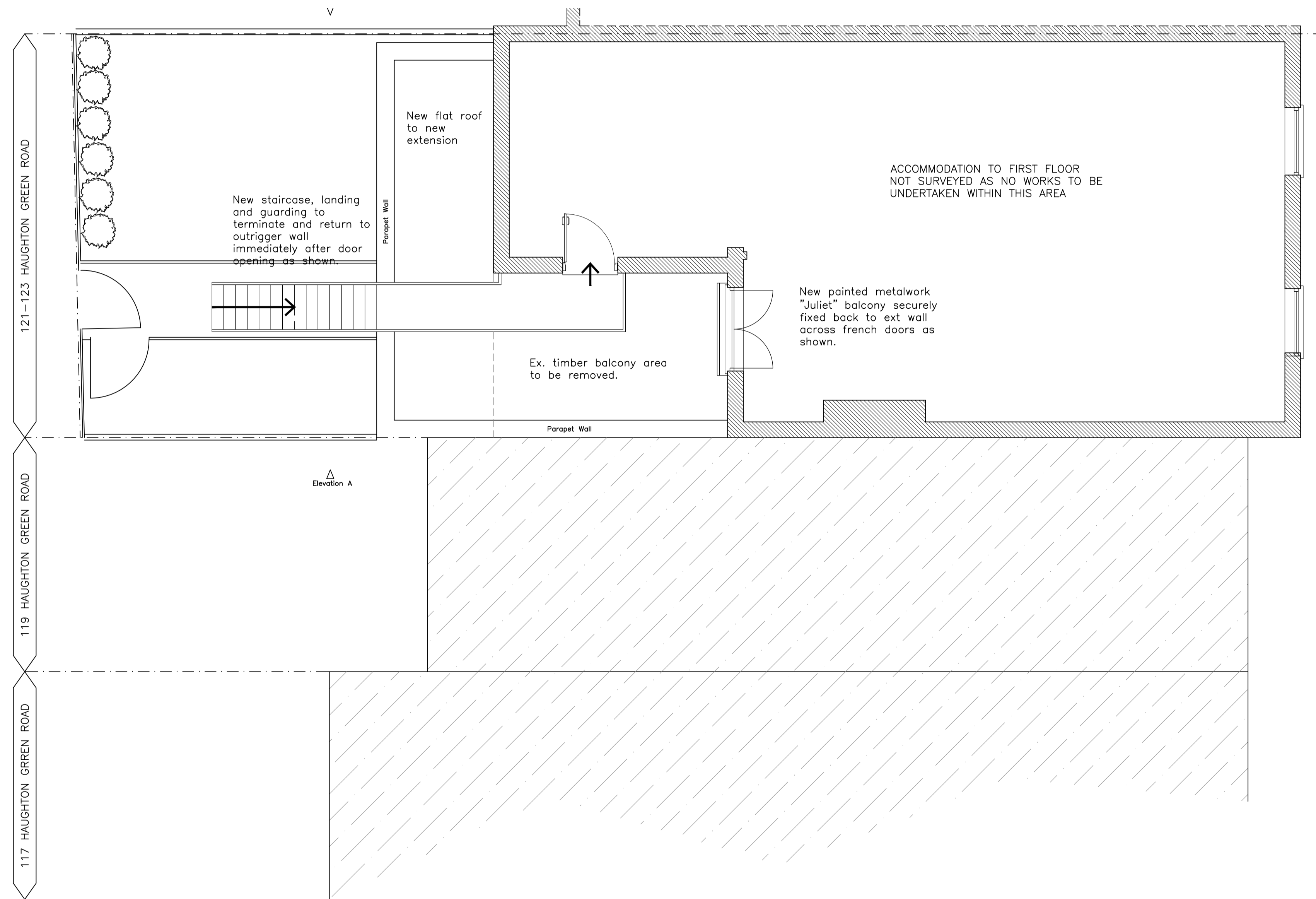
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 Proposed Ground Floor Plan

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 Checked by: AN  
 Date: 13/09/2017  
 Scale: 1:50@A1

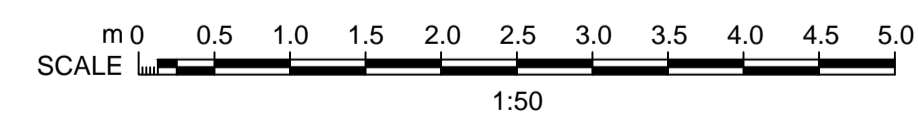
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3692	200	F

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Proposed First Floor Plan



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 1:50@A1 OR 1:100@A3

A	Issue for Planning Permission	AN	06/07/18
Rev	Description	By	Date
Initial Issue: 13/09/2017			

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Haughton Green Road  
 Denton  
 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension  
 & Interior Alteration

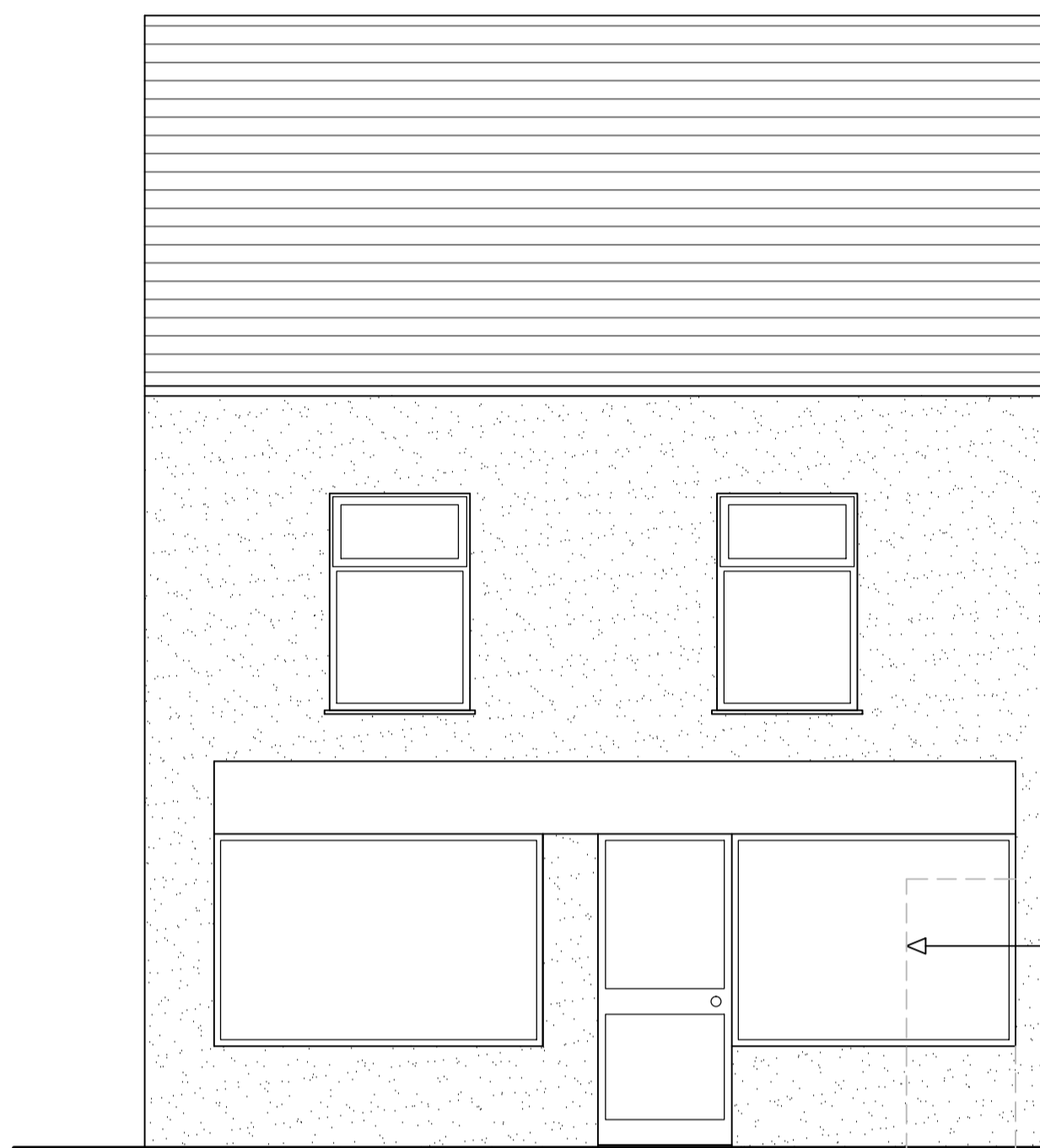
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 Proposed First Floor Plan

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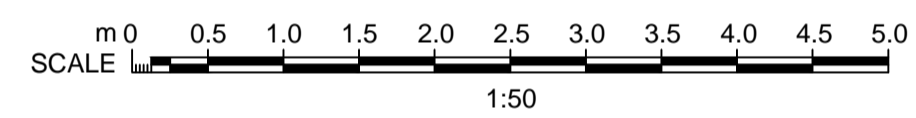
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Job Ref.	Drawing No.	Revision
3692	201	A

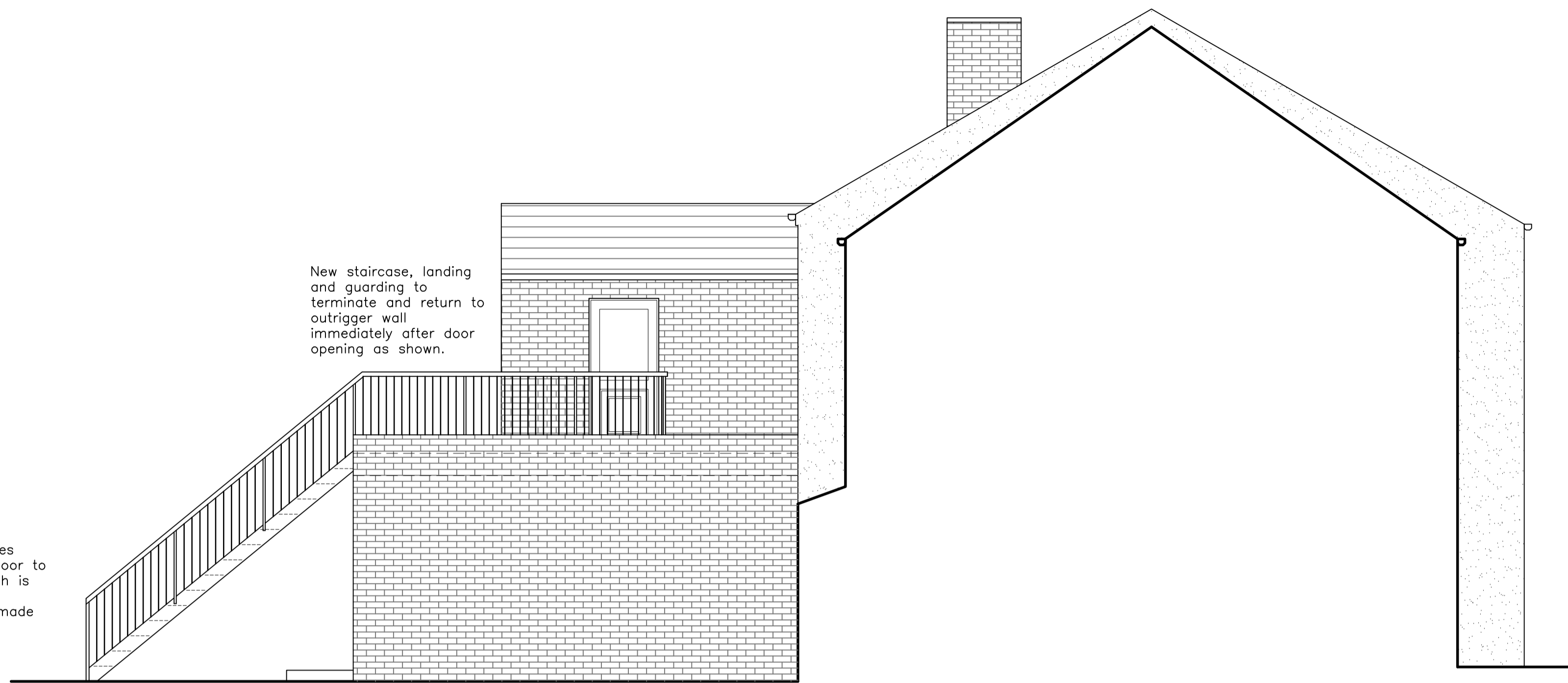
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Proposed Front Elevation



Dashed line indicates existing entrance door to first floor flat which is to be omitted. Shop front to be made wider.



Proposed Side Elevation A

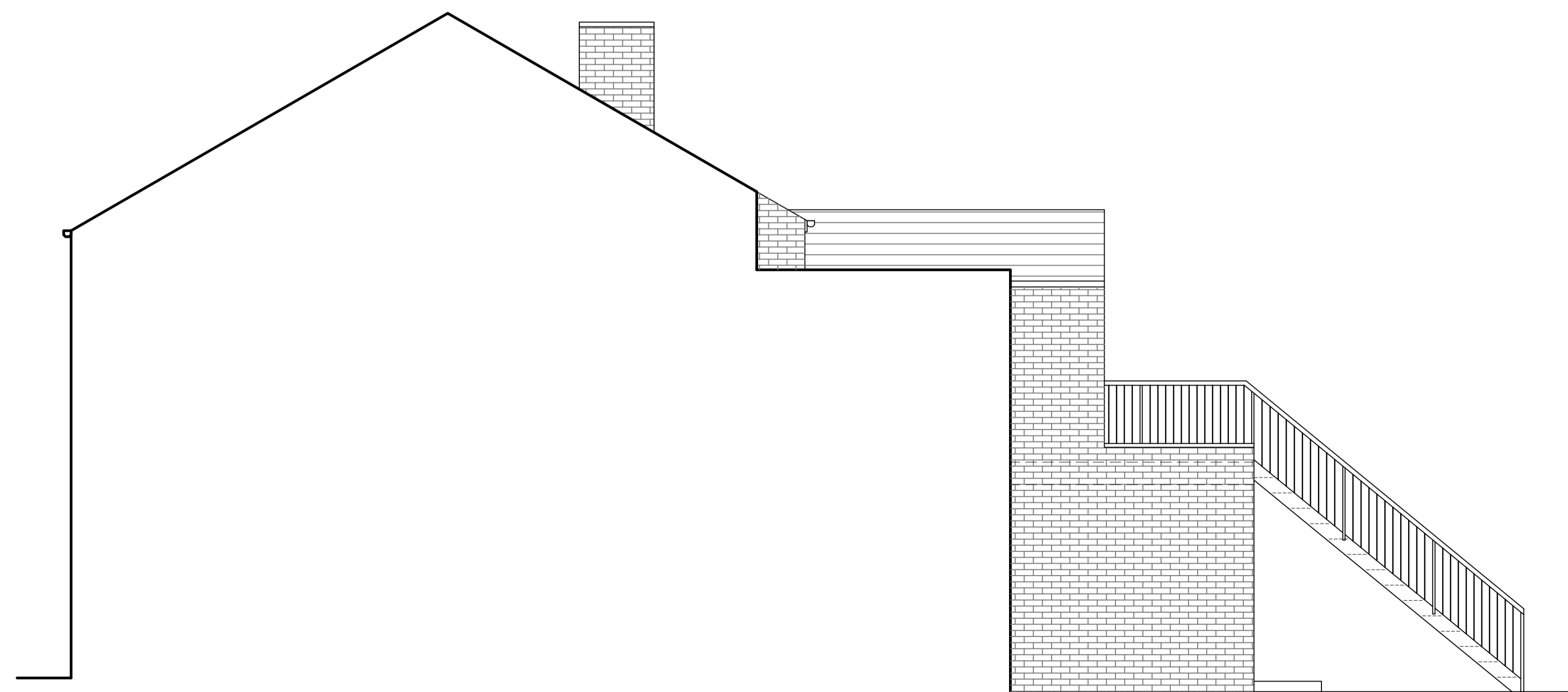
New staircase, landing and guarding to terminate and return to outrigger wall immediately after door opening as shown.



Proposed Rear Elevation

Ex. timber balcony area to be removed. New painted metalwork "Juliet" balcony securely fixed back to ext wall across french doors as shown.

New staircase, landing and guarding to terminate and return to outrigger wall immediately after door opening as shown.



Proposed Side Elevation B

PLEASE NOTE: SCALE  
 1:50@A1 OR 1:100@A3

Rev	Description	By	Date
F	Re-Issue for Planning Permission	AN	06/07/18
E	Issue for Planning Permission	KT	16/05/18
D	Issue for Planning Permission	PB	12/02/18
C	Issue for Client Comment	PB	09/11/17
B	Issue for Client Comment	PB	20/10/17
A	Issue for Client Comment	PB	20/09/17

Initial Issue: 13/09/2017

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Haughton Green Road  
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 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension  
 & Interior Alteration

**DRAWING TITLE**  
 Proposed Elevations

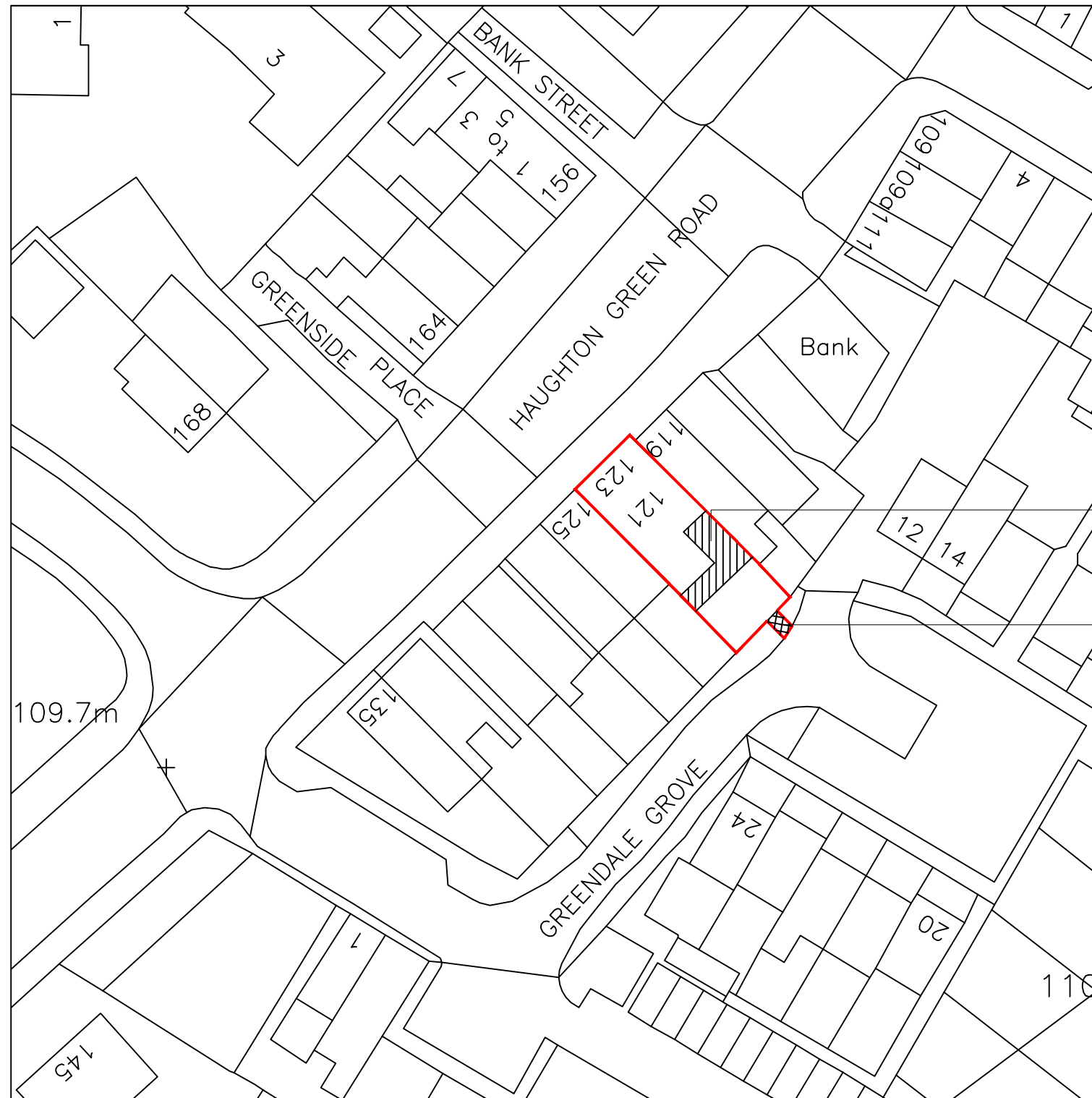
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Job Ref.	Drawing No.	Revision
3692	300	F

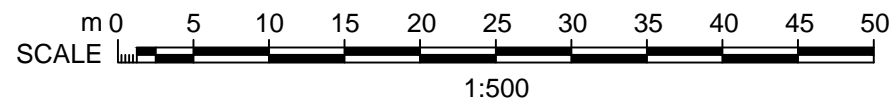
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Hatched area indicates proposed single storey rear extension

Hatched area indicates access route across land owned by others for access to the first floor flat only (See drawing 3692\_200 for more information in relation to this)



This drawing is to be read in conjunction with all relevant drawings.

The main contractor/builders is to interpret the requirements in relationship to the site conditions encountered and as agreed with the Building Control officer.

All dimensions and sizes to be verified on site, any discrepancies to be reported to the client/project manager. These annotations were prepared for planning and/or building control submission only.

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B	Redline boundary amended - Re-Issue for Planning Permission	AN	06/07/18
A	Issue for Planning Permission	PB	12/02/18
Rev	Description	By	Date
Initial Issue: 13/09/2017			

**CLIENT**  
 'The Green' Funeral Services  
 121-123 Haughton Green Road  
 Denton  
 M34 7PW

**PROJECT TITLE**  
 Single Storey Rear Extension  
 & Interior Alteration

**DRAWING TITLE**  
 Block Plan

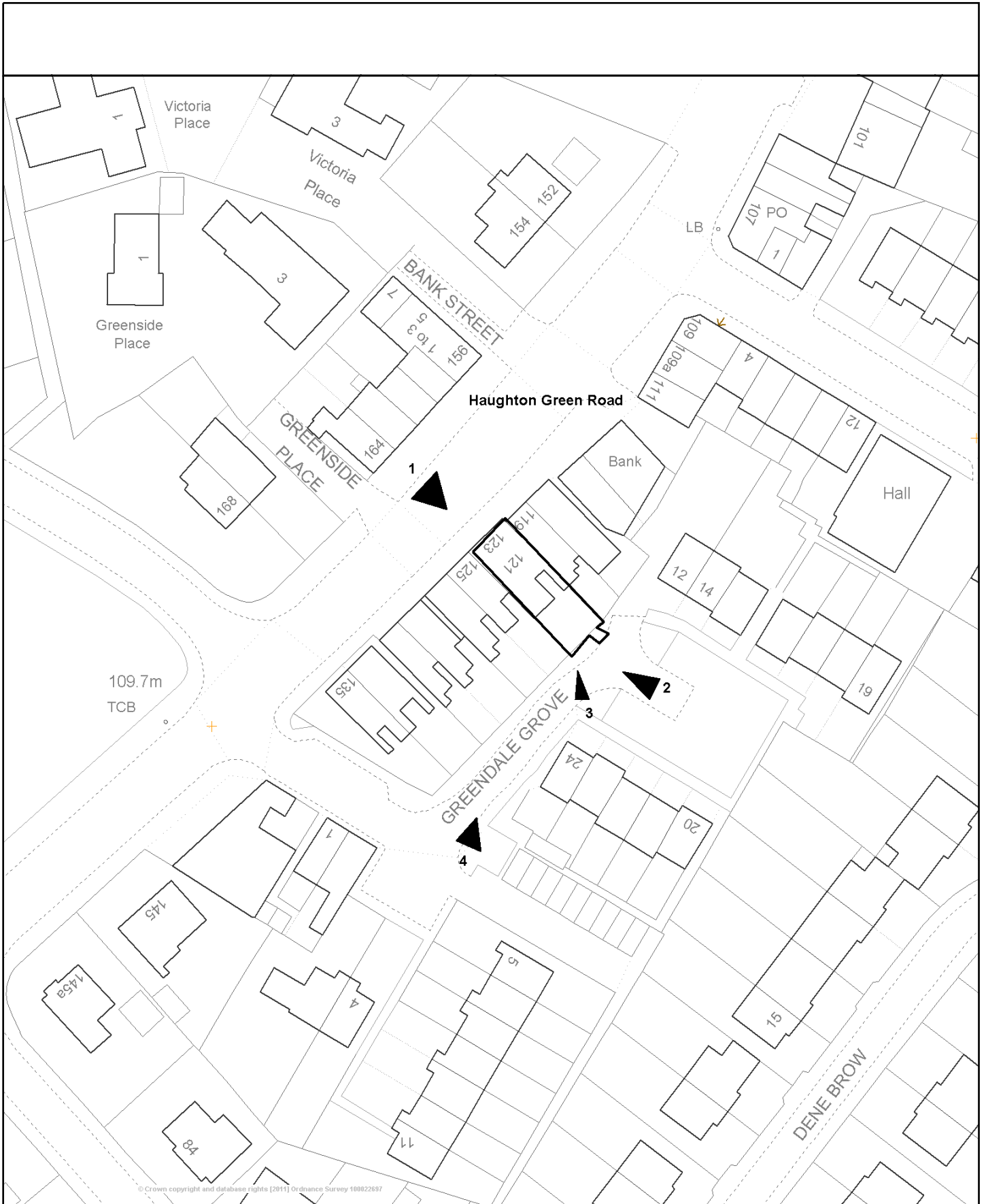
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 Date: 13/09/2017      Scale: 1:500@A3

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3692	501	B

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Scale 1/750    Date 9/8/2018

Centre = 393535 E 393742 N

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Application Number: 18/00125/FUL

Photo 1

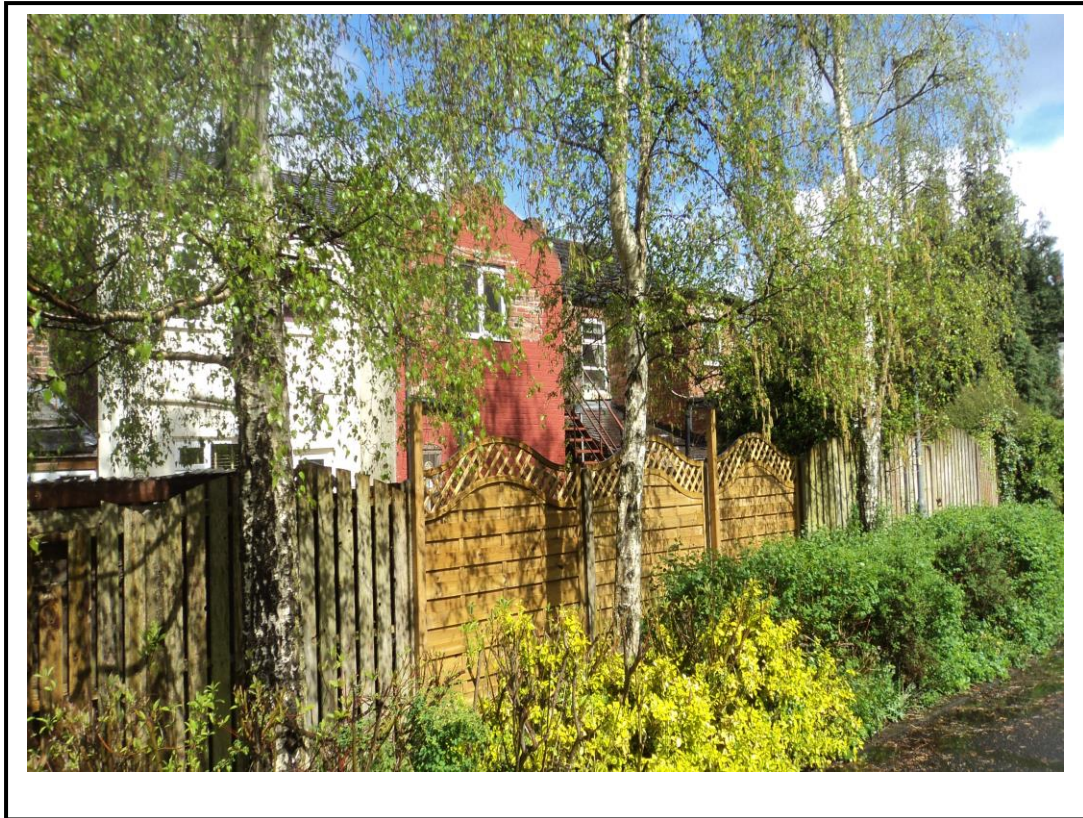


Photo 2





**Photo 3**



**Photo 4**



**Application Number** 18/00130/FUL

**Proposal** Erection of 4 dwellings

**Site** land adjacent to 301 Market Street, Droylsden

**Applicant** Mr Mark Lucas

**Recommendation** Approve, subject to conditions

**Reason for report** A Speakers Panel decision is required due to the call in request made by a neighbouring resident.

## REPORT

### 1. APPLICATION DESCRIPTION

1.1 The applicant seeks planning permission for the erection of 4 dwellings on the land. A pair of semi-detached properties would front onto Marina Road, one unit would front onto and be accessed via Market Street and the fourth dwelling would face onto Oldham Street, from where that plot would be accessed. That property would also present an active able frontage to Market Street.

### 2. SITE AND SURROUNDINGS

2.1 The application site is an area of grassed open space located at the western end of Marina Road in Droylsden. Market Street runs parallel with the western boundary of the site. The properties at 301-307 face the western boundary of the application site, the properties at 2-8 Bell Street back on to Market Street. The western gable of the property at no. 1 Marina Road is adjacent to the eastern boundary of the southern portion of the site, with the properties at 2-14 Moss Street backing on to the same boundary in the northern portion of the site. Oldham Street runs parallel with the northern boundary of the site.

### 3. PLANNING HISTORY

3.1 There is no relevant planning history on the site.

### 4. RELEVANT PLANNING POLICY

#### 4.1 Tameside Unitary Development Plan (UDP) Allocation

The site is not allocated and is located within the settlement of Droylsden.

#### Part 1 Policies

1.3: Creating a Cleaner and Greener Environment.

1.4: Providing More Choice and Quality Homes.

1.5: Following the Principles of Sustainable Development

1.12: Ensuring an Accessible, Safe and Healthy Environment

#### Part 2 Policies

H2: Unallocated sites

H4: Type, size and affordability of dwellings

H5: Open Space Provision

H7: Mixed Use and Density.

H10: Detailed Design of Housing Developments

OL4: Protected Green Space  
OL10: Landscape Quality and Character  
T1: Highway Improvement and Traffic Management.  
T10: Parking  
C1: Townscape and Urban Form  
N4: Trees and Woodland.  
N5: Trees Within Development Sites.  
N7: Protected Species  
MW11: Contaminated Land.  
U3: Water Services for Developments  
U4 Flood Prevention  
U5 Energy Efficiency

#### 4.2 **Other Policies**

Greater Manchester Spatial Framework - Publication Draft October 2016;  
Residential Design Supplementary Planning Document; and,  
Trees and Landscaping on Development Sites SPD adopted in March 2007.

#### 4.3 **National Planning Policy Framework (NPPF)**

Section 2: Achieving sustainable development  
Section 5: Delivering a sufficient supply of homes  
Section 8: Promoting safe and healthy communities  
Section 12: Achieving well designed places

#### 4.4 **Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

### 5. **PUBLICITY CARRIED OUT**

5.1 Neighbour notification letters were issued in accordance with the requirements of the Town and Country Planning (Development Management Procedure) (England) Order 2015.

### 6. **RESPONSES FROM CONSULTEES**

- 6.1 Local Highway Authority – no objections to the proposals, subject to a number of conditions.
- 6.2 Borough Environmental Health Officer – no objection subject to the imposition of a condition limiting the hours of work during the construction phase of the development.
- 6.3 Borough Tree Officer – no objections following amendments to the proposals to include additional tree planting in areas outside of the curtilage of any of the proposed dwellings. Details of the landscaping scheme and on-going maintenance will need to be secured by condition.
- 6.4 Borough Contaminated Land Officer – Recommends that a standard contaminated land condition is attached to any planning approval granted for development at the site, requiring the submission and approval of an assessment into potential sources of contamination and a remediation strategy.

- 6.5 Borough Sustainable Travel Officer – there are no designated Public Rights of Way running through the application site and no application has been made to add a route in this location to the definitive map.
- 6.6 Coal Authority – no objection to the proposals. The site lies in an area of low risk with regard to coal mining legacy. An informative outlining the responsibilities of the applicant in relation to this matter should be attached to any planning permission granted.
- 6.7 United Utilities - no objection to the proposals, subject to the imposition of conditions requiring surface and foul water to be drained from the site via separate mechanisms and the submission of a surface water drainage strategy. There is a sewer under the land which is owned by United Utilities. This sewer must not be built over and an easement will be required either side of the route of the infrastructure at ground level to allow space for maintenance.

## **7. SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

- 7.1 9 letters of objection have been received to the proposals which raise the following concerns (summarised):
- There is a pathway running through the land which is believed to be a public right of way. One of the neighbours has documentary evidence to substantiate this.
  - The properties are more likely to be let than owner occupied which could result in deterioration in the character of the area over time.
  - What compensation will be made available to existing residents in neighbouring properties who will be detrimentally affected by the noise and disturbance caused during the construction phase of the development. This will be particularly bad during peak traffic periods.
  - There are existing problems with drainage infrastructure on Market Street, which is likely to be made worse as a result of the additional demand resulting from the proposed development.
  - The proposals will add to congestion on Market Street, Oldham Street and Moss Street and will add to the problems of parking capacity currently experienced by local residents on these streets.
  - The level of car parking proposed does not appear to be adequate given that 2 of the dwellings would only have 1 car parking space.
  - The application site has been open green space for over 30 years. The development of the land will result in a detrimental impact on the character of the area and the loss of valuable open space.
  - The trees on the site have been left to grow to a point where they now result in a detrimental impact on the amenity of neighbouring properties through overshadowing. The same detrimental impact will occur to the occupants of the proposed dwellings.
  - The proposed dwellings will result in overlooking into the neighbouring properties which will be harmful to the residential amenity of the existing residents.
  - The parking for the property fronting onto Oldham Street is directly on the land behind Moss Street, which is currently used by residents of Moss Street to park vehicles, along with residents of Market Street who use Oldham Street to park vehicles / work vehicles. This parking area would be lost as a result of the development. A solution would be to make Oldham Street permit parking only. However, Oldham Street is also used by the public who use Lees Park.
  - The entrance to Marina Road is already compromised with the amount of school traffic and this situation will be made worse by the activity around the site during the construction phase of the development. When the buildings are erected, the view from the bottom of Marina Road will be obstructed, causing even more accidents at the Medlock Street roundabout.

- Residents of the new houses will possibly park on Bell Street (a street that already has limited parking) as it clear from the plans that little thought has been given in regards to the provision of adequate parking to serve the development.
- The proposals will result in a detrimental impact on property values in the surrounding area.
- The supporting documentation submitted with the planning application is considered to down play the impacts of the development on the amenity of neighbouring residents and states that trees will be retained, when it would appear from the plans that most are to be removed.
- The erection of four dwellings on the site will result in a development of a density that would be detrimental to the character of the area.

## **8. ANALYSIS**

- 8.1 The key issues to be assessed in the determination of this planning application are:
- 1) The principle of development
  - 2) The impact on the residential amenity of neighbouring properties
  - 3) The impact on the character of the site and the surrounding area
  - 4) The impact on highway safety
  - 5) The impact on trees and ecology.

## **9. PRINCIPLE OF DEVELOPMENT**

- 9.1 Section 38 of the Planning and Compulsory Purchase Act 2004 states that applications should be determined in accordance with the development plan unless material considerations indicate otherwise. Consideration will also be necessary to determine the appropriate weight to be afforded to the development plan following the publication of the National Planning Policy Framework. Paragraphs 212 - 217 of the NPPF set out how its policies should be implemented and the weight which should be attributed to the UDP policies.
- 9.2 Paragraph 213 confirms that due weight should be given to relevant policies in existing plans according to their degree of consistency with the NPPF. At the heart of the NPPF is the presumption in favour of sustainable development and Section 5 of the NPPF requires Local Planning Authorities to support the delivery of a wide choice of quality homes in sustainable locations.
- 9.3 Policy OL4 of the UDP seeks to retain areas of protected green space, including not only designated spaces (this site is not designated in this regard) but also 'areas of land in similar use but which are too small to be shown as Protected Green Spaces on the Proposals Map'.
- 9.4 Criterion (d) of the policy states that an exception to the policy requirement to retain green space can be made where the retention of a site or facilities for sport or recreational use is not necessary and the site has no special significance to the interests of sport and recreation. Tameside has recently produced a Playing Pitch Strategy and Action Plan report which does not identify the application site as being necessary to deliver the Council's aspirations to develop leisure space in the long term (next 6 years+).
- 9.5 The applicant also makes the point that despite being open, the land is privately owned with no right for public access. Be that as it may, the land can still perform a function in terms of contributing positively to the character of the area, providing a break in the relatively high density of development in the surrounding area.



- 9.6 There are a number of protected areas of open space within 10 minutes walking distance of the proposed development sites, which is the recommended walking distance threshold for Tameside. The site is within close proximity of Lees Park, an extensive area of open space which extends to the north east of the site and is accessed from Oldham Street.
- 9.7 Paragraph 100 of the NPPF states that Local Green Space designation will not be appropriate for most green areas or open space and that the designation should only be used where the following criteria apply:
- Where the green space is in reasonably close proximity to the community it serves;
  - Where the green space is demonstrably special to a local community and holds particular local significance, for example because of its beauty, historic significance, recreational value (including as a playing field), tranquillity or richness of its wildlife; and
  - Where the green area is local in character and does not apply to an extensive tract of land.
- 9.8 Whilst the land would comply with criterion 1 and 3, it is considered that the land does not hold the value required by criterion 2. The land itself is not designated as a site of ecological or historic significance (either nationally or locally). GMEU have not objected to the application in relation to the impact on ecology and additional tree planting is now proposed in an area outside of the curtilage of the dwellings to compensate for the loss of the existing specimens of amenity value on the land.
- 9.9 The land is situated in a sustainable location, close to regular bus services between Ashton and Manchester city centre, which run along Market Street and is within 0.5 miles of a foodstore and the shops and services in Droylsden town centre. On that basis, it is considered that the value of the land in amenity terms would not outweigh the benefit of boosting the supply of housing in the Borough.

## **10. RESIDENTIAL AMENITY**

- 10.1 The eastern gable of the proposed dwellings fronting onto Marina Road contains 2 windows, 1 at ground floor and 1 at first floor level. These windows would be secondary openings to a lounge at ground floor and a bedroom at first floor. On that basis, these windows could be required to be obscurely glazed and non-opening without harming the amenity of the future occupants of the development.
- 10.2 Subject to this requirement being secured by condition, no direct overlooking could occur from the eastern most property proposed on that frontage into the neighbouring property at 1 Marina Road. There is a first floor window in the corresponding gable of that neighbouring property. The occupier has confirmed that this serves a landing, which is not a habitable room and as such, any overshadowing of that window would not result in a harmful impact on the residential amenity of that property.
- 10.3 The rear elevation of the dwelling labelled as house type 2 on the proposed site plan is approximately 18 metres from the rear ground floor elevation of the property at 8 Moss Street to the east of the site. Given the oblique nature of the relationship between that neighbouring property and the proposed dwelling and the fact that the first floor of 8 Moss Street is set a further 2 metres back, it is considered that harmful overlooking and overshadowing would be avoided. The rear elevation of the property at 12 Moss Street would be approximately 20.2 metres from the southern end of the rear elevation of that proposed dwelling.
- 10.4 Whilst the relationship is less oblique than which no. 8 Moss Street, the direct line of sight from the first floor window at the southern end of house type 2 would pass to the south of

that neighbouring property. The potential for overlooking from the other first floor windows could be mitigated by obscure glazing the openings, which would serve non-habitable rooms. A condition to this effect is attached to the recommendation. The details of boundary treatments can be secured by condition to ensure that direct overlooking at ground floor level can be avoided. On that basis, there would not be a detrimental impact on the amenity of that neighbouring property through overlooking or overshadowing.

- 10.5 The separation distance between the southern end of the proposed house type 2 and the neighbouring property at 14 Moss Street would be approximately 20.6 metres. This separation distance is considered sufficient to mitigate any unreasonable overlooking into or overshadowing of that neighbouring property, given the oblique relationship between 14 Moss Street and the majority of the proposed dwelling on that plot. This assessment is made within the context of the mitigation that can be secured by the conditions that can be imposed relating to boundary treatments and obscured glazing, as discussed previously.
- 10.6 The separation distance between the rear elevation of the property at 10 Moss Street and the southern portion of house type 2 would be 21 metres, meeting the requirements of the adopted Residential Design Guide SPD (RDG). The properties on Moss Street north of no. 8 are set at a sufficiently oblique angle to prevent unreasonable overlooking or overshadowing from the development given the respective separation distances to be retained.
- 10.7 The eastern gable of house type 3 would be approximately 13.5 metres from the rear elevation of the properties at the northern end of Moss Street. That elevation of the proposed dwelling would contain French windows at ground floor level and a bathroom window at first floor level.
- 10.8 The relationship between the proposed dwelling on that plot and the rear elevations of the properties on Moss Street would be oblique, due to the tapered nature of the building line of house type 3 with the common boundary, with the property orientated to follow Market Street. Given this orientation, the fact that overlooking could be avoided by obscuring glazing the bathroom window and that the design boundary treatment can be controlled by condition, it is considered that the separation distance to be retained would be sufficient to preserve the residential amenity of those neighbouring properties.
- 10.9 A separation distance in excess of 23 metres would be retained between the elevations of the properties fronting onto Market Street and the rear elevations of the properties on Bell Street to the west of the site. This separation distance and the presence of the highway in the intervening distance is considered to be sufficient to ensure that the proposals would not result in any adverse impact on the residential amenity of those properties in terms of overlooking or overshadowing.
- 10.10 The front elevation of the property at 2 Marina Road to the south of the site would be in excess of 14 metres from the front elevation of the pair of semi-detached dwellings in the southern portion of the development. An oblique relationship would also be retained between the buildings, preventing any unreasonable overlooking into or overshadowing of that neighbouring property. There would be no adverse impact on the properties further south west of the site (separated from the site by a grassed area) due to the substantial separation distance (in excess of 30 metres) to be retained.
- 10.11 Following the above assessment, it is considered that the proposals would not result in an adverse impact on the residential amenity of any of the neighbouring properties.

## **11. CHARACTER OF THE SITE AND SURROUNDING AREA**

- 11.1 The proposal would involve the erection of 4 dwellings on a site area of 0.08 hectares, which equates to 50 dwellings per hectare. Given the relatively dense pattern of development along Marina Road and the terraced nature of the properties on Moss Street and Oldham Street, it is considered that this relatively high density is not uncharacteristic of the surrounding area.
- 11.2 The proposed layout would result in active frontage to Marina Road, Market Street and Oldham Street. This is a positive element of the scheme which enables the development to be outward facing and to respond to the character of the surrounding area. The pair of semi-detached dwellings would continue the established pattern of development on Marina Road. The design of the dwelling in the northern portion of the site would provide active frontage to both sides of the Oldham Street/Market Street junction, which is considered to be an effective solution to the constrained shape of the site. Presenting an active frontage to Market Street would also help to counterbalance the negative design of the properties that back on to the road to the west.
- 11.3 In terms of scale, all of the dwellings would be two storeys in height, reflecting the predominant scale of buildings in the surrounding area and the height of residential development on Marina Road and Oldham Street. In relation to proportions, house type 3 would include a hipped roof. Whilst this is not a common characteristic in the area, the design is considered to be appropriate given the corner nature of the plot and the resulting benefit of having active elevations facing both boundaries.
- 11.4 Following the above assessment, it is considered that the proposals would not result in an adverse impact upon the character of the area.

## **12. HIGHWAY SAFETY**

- 12.1 Each of the properties would be served by independent access arrangements, with the two semi-detached properties accessed via Marina Road, one of the units via Market Street and the northern most dwelling would be accessed from Oldham Street. It is considered that adequate visibility splays could be achieved from each of these access points in order to maintain highway safety.
- 12.2 The Local Highway Authority has not raised any objections to the proposals, subject to a number of conditions. A condition requiring the retention of pedestrian visibility splays from each of the access points is considered to be reasonable. Requiring the submission of details of the road works and traffic management measures necessary to provide the access points is considered not to be necessary as these relate to matters that can be controlled by the Local Highway Authority under legislation separate from the planning system.
- 12.3 Conditions requiring the submission and approval of a construction environment management plan and that the driveways are constructed from a bound material and on a level to prevent displacement of surface water and materials into the highway are considered to be reasonable and can be attached to the decision notice.
- 12.4 The consultation response from the Local Highway Authority refers to the footpath running through the site and states that there may be a need to divert this if it can be proven that it has been used by members of the public for a continuous basis for at least 20 years. There are no designated Public Rights of Way (PRoW) running through the site. There is a process under the provisions of the Highways Act for people to make a claim to the Local Authority for a route to be designated. Such a claim has not been made at the time of

determining this planning application, as confirmed by the comments from the Borough Sustainable Travel Officer.

- 12.5 If such an application is accepted and development would obstruct that route then a diversion would need to be put in place. Such a diversion would be possible via the footpath around the perimeter of the site, which remains outside of the red line boundary. The impact of the development on a private right of way is not a material planning consideration and as such there is no reason to withhold planning permission on this site in connection with the status of access rights on the land.
- 12.6 The plans indicate that 2 on plot car parking spaces would be provided for 2 of dwellings, with 1 space to be provided in front of each of the semi-detached units. Overall provision therefore falls slightly below the 2 spaces per dwelling recommended as the maximum standard for 3 bedroom units in this location. However, the site is located within walking distance of the services and facilities in Droylsden town centre, Droylsden tram stop and is within close proximity of bus stops on Market Street, where regular services operate to Manchester and Ashton. The application of maximum parking standards is no longer compatible with national planning policy. There are double tallow lines which would prevent parking outside of the dwellings fronting onto Marina Road, which would prevent parking that would be detrimental to highway safety associated with the development.
- 12.7 Given the combination of these factors, it is considered that the proposed deficit in parking in relation to the RDG maximum standard would not result in severe harm to highway safety. As such, in accordance with the guidance contained within paragraph 109 of the NPPF, it is considered that planning permission should not be refused on these grounds.

### **13. TREES & ECOLOGY**

- 13.1 In relation to the impact of the development on trees, the Borough Tree Officer raised some concerns in relation the loss of a number of semi-mature trees from the land, including a Birch tree which is considered to be of significant amenity value and the level of compensatory planting originally proposed.
- 13.2 The scheme has been amended to create an area of space between the rear of the 2 dwellings fronting onto Marina Road (with their curtilages slightly reduced from the original submission) and the dwelling that would front on to Market Street. The location of a railing on the northern side of this area is indicated on the plan, to provide physical separation from the driveway associated with the adjacent proposed dwelling (the details of which can be secured as part of a condition requiring the submission and approval of boundary treatments.) A total of 3 additional trees would be planted in this location. Given that this trees would be outside of the curtilage of any of the dwellings proposed, it is considered that this planting would provide suitable mitigation and would be at less risk of pressure to remove once the development is occupied.
- 13.3 Details of the species mix to be planted in a proposed landscaping scheme have been submitted and are considered to be acceptable. Compliance with these details can be secured by condition. A management plan for the maintenance of this area, including the requirement that any trees that are removed or die are replaced in the next planting season can be secured by condition. On the basis of the amended proposals, the Tree Officer has no objections to the proposals.
- 13.4 In relation to ecology, GMEU has not raised any objections to the proposals, subject to conditions being imposed on any permission granted. These conditions would limit the timing of tree/vegetation removal on the site to outside of the bird breeding season to ensure that there would be no adverse impact on protected species and a requirement that biodiversity enhancements are included as part of the development. These conditions are

considered to be necessary and the latter would secure mitigation of the loss of trees resulting from the proposed development.

- 13.5 Following the above assessment, it is considered that the proposals would not result in an adverse impact on ecology and that the loss of trees can be adequately compensated for, subject to the imposition of conditions.

#### **14. OTHER MATTERS**

- 14.1 In relation to flood risk, the site is located within Flood Zone 1 and is therefore at a lower risk of flooding. In terms of drainage, United Utilities has raised no objections to the proposals, subject to a condition requiring foul and surface water to be drained from the development via separate mechanism and the submission and approval of a sustainable surface water drainage system.
- 14.2 These matters can be combined into one condition which is considered to be necessary to ensure adequate provision is made to serve the development. The applicant has indicated on the application form that foul water would be disposed of via the mains sewer network. No further detail is considered necessary in relation to foul water drainage for planning purposes as these will be required under the Building Regulations.
- 14.3 United Utilities has highlighted the presence of a sewer for which they are responsible running below the site. The applicant has been informed of this situation and the need to avoid development over the route of the sewer and to retain an easement. This is a matter for the applicant to resolve with United Utilities as a statutory undertaker and is not a matter to be determined under planning legislation.
- 14.4 The EHO has raised no objections to the proposals, subject to the imposition of a condition limiting the hours of works during the construction process. This is considered reasonable and can be attached to the decision notice. Details of the bin storage arrangements to serve the development can also be secured by condition to ensure that these facilities preserve the character of the surrounding area.
- 14.5 The Borough Contaminated Land Officer has not raised any objections to the proposals, subject to securing an intrusive ground investigation into potential sources of contamination on the site and approval of a remediation strategy (if required) by condition. Such a condition is considered to be reasonable given the undeveloped nature of the site. The Coal Authority has confirmed that the site is located in a low risk area with regard to coal mining legacy and as such they have no objections to the proposals. An informative can be added to the decision notice advising the applicant of their responsibilities on this regard.
- 14.6 In accordance with the Written Ministerial Statement (WMS) of 28 November 2014, no tariff based contributions are to be sought in relation to affordable housing, open space or education provision, as the proposal would not exceed 10 dwellings. The WMS is a material planning consideration, forming part of the Planning Practice Guidance. Given the need to boost the supply of housing in sustainable locations (such as this site, which is within walking distance of regular bus and tram services, the services and facilities in Droylsden town centre and the public open space at Lees Park), as required by Section 5 of the NPPF, it is considered that financial contributions are not necessary to make the scheme acceptable in planning terms.
- 14.7 In relation to comments made by objectors not previously referred to in this report, the fact that the development would result in the loss of space for cars associated with neighbouring properties to park on the land is not a material consideration as these are not formally allocated parking spaces. Likewise, the impact of development on house prices is

not a material planning consideration, nor is the basis on which the properties are occupied in terms of tenancy.

## **15. CONCLUSION**

- 15.1 The proposed development is considered to be acceptable in principle. Whilst the scheme would result in development on open green space, the space is not designated as protected green space within the UDP. The fact that Lees Park is within very close proximity of the application site and that there is a need to boost the supply of housing within the Borough are considerations which are considered to reduce the harm to be attributed to the loss of open space when conducting the planning balance. The site is considered to be in a sustainable location, within walking distance of tram and bus connection to Manchester and Ashton and the services and facilities in Droylsden town centre.
- 15.2 The proposals would not result in a detrimental impact upon residential amenity, highway safety, or the character of the surrounding area, subject to compliance with appropriate conditions. The revised scheme makes provision for replacement planting outside of the curtilage of the properties, which has overcome the concerns of the Borough tree Officer in relation to the original submission.
- 15.3 There are no objections from any of the statutory consultees and the proposals are considered to accord with the relevant national and local planning policies quoted above.

## **RECOMMENDATION**

Grant planning permission subject to the following conditions:

1. The development must be begun not later than the expiration of three years beginning with the date of this permission.
2. The development hereby approved shall be carried out in accordance with the following approved plans/details:  
  
1:1250 site location plan  
Amended proposed site plan (Drg no. JK/986\_01 Rev. A)  
Amended proposed landscaping plan (ref. 5825.01 Rev. B)  
Proposed elevations plan (Drg no. JK/986\_010)
3. No development, other than site clearance and site compound set up, shall commence until such time as the following information has been submitted in writing and written permission at each stage has been granted by the Local Planning Authority.
  - i) A preliminary risk assessment to determine the potential for the site to be contaminated shall be undertaken and approved by the Local Planning Authority. Prior to any physical site investigation, a methodology shall be approved by the Local Planning Authority. This shall include an assessment to determine the nature and extent of any contamination affecting the site and the potential for off-site migration.
  - ii) Where necessary a scheme of remediation to remove any unacceptable risk to human health, buildings and the environment (including controlled waters) shall be approved by the Local Planning Authority prior to implementation.
  - iii) Any additional or unforeseen contamination encountered during development shall be notified to the Local Planning Authority as soon as practicably possible and a remedial scheme to deal with this approved by the Local Planning Authority.

iv) Upon completion of any approved remediation schemes, and prior to occupation, a completion report demonstrating that the scheme has been appropriately implemented and the site is suitable for its intended end use shall be approved in writing by the Local Planning Authority.

The discharge of this planning condition will be given in writing by the Local Planning Authority on completion of the development and once all information specified within this condition and other requested information have been provided to the satisfaction of the Local Planning Authority and occupation/use of the development shall not commence until this time, unless otherwise agreed by the Local Planning Authority.

4. Notwithstanding any description of materials in the application, no above ground construction works shall take place until samples and/or full specification of materials to be used: externally on the buildings; in the construction of all boundary walls, fences and railings; and, in the finishes to all external hard-surfaces have been submitted to, and approved in writing by, the local planning authority. Such details shall include the type, colour and texture of the materials. Development shall be carried out in accordance with the approved details.
5. Prior to the first occupation of any of the dwellings hereby approved, details of the boundary treatments to be installed as part of the development shall be submitted to and approved in writing by the Local Planning Authority. The details shall include scaled plans of the treatments and details of the construction material and the finish to be applied. The boundary treatments for each dwelling shall be installed in accordance with the approved details prior to the first occupation of that dwelling.
6. No development shall commence until such time as a Construction Environment Management Plan has been submitted to and approved in writing by the Local Planning Authority. This shall include details of:

Wheel wash facilities for construction vehicles;  
Arrangements for temporary construction access;  
Contractor and construction worker car parking;  
Turning facilities during the remediation and construction phases;  
Details of on-site storage facilities;

The development shall be carried out in accordance with the approved Construction Environmental Management Plan.

7. The soft landscaping scheme to form part of the development hereby approved shall be implemented in accordance with the details indicated on the approved amended plan ref. 5825.01 Rev. B submitted with the planning application. The 3 trees to be planted to the south of the dwelling fronting onto Market Street (labelled house type 2 on the approved plans) shall meet the dimensions of 'extra heavy standards' as per BS8545:2014 on first planting.
8. The approved scheme of landscaping scheme shall be implemented before the first occupation of any part of the development or in accordance with a programme agreed previously with the local planning authority. Any newly planted trees or plants forming part of the approved scheme which, within a period of 5 years from the completion of the planting, are removed, damaged, destroyed or die shall be replaced in the next appropriate planting season with others of similar size and species.
9. Prior to the first occupation of any of the dwellings hereby approved, details of measures to be employed to ensure appropriate management and maintenance of the trees outside of the curtilage of any of the properties within the development shall be submitted to and approved in writing by the Local Planning Authority. The measures shall include provision

for the replacement of any tree that is damaged, diseased or dies within the next planting season. The development shall be maintained in accordance with the approved details.

10. Prior to the commencement of any development, a surface water drainage scheme, based on the hierarchy of drainage options in the National Planning Practice Guidance with evidence of an assessment of the site conditions shall be submitted to and approved in writing by the Local Planning Authority. The surface water drainage scheme must be in accordance with the Non-Statutory Technical Standards for Sustainable Drainage Systems (March 2015) or any subsequent replacement national standards. Foul and surface water shall be drained on separate systems and in the event of surface water draining to the public surface water sewer, details of the flow rate and means of control shall be submitted. The scheme shall include details of on-going management and maintenance of the surface water drainage system to be installed. The development shall be completed in accordance with the approved details and retained and maintained as such thereafter.
11. During demolition/construction no work (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank Holidays.
12. Prior to the first occupation of any of the dwellings hereby approved, the following windows shall be fitted with obscuring glass (meeting Pilkington Level 3 in obscurity as a minimum) and shall be fixed shut below 1.7 metres above the internal floor level of the room that they serve (as identified on the approved proposed site plan Drg no. JK/986\_01 Rev. A) :
  - Ground and first floor windows in the eastern gable elevation of house type 1
  - First floor windows serving a landing a bathroom on the eastern elevation of house type 2
  - First floor window in the eastern gable of house type 3

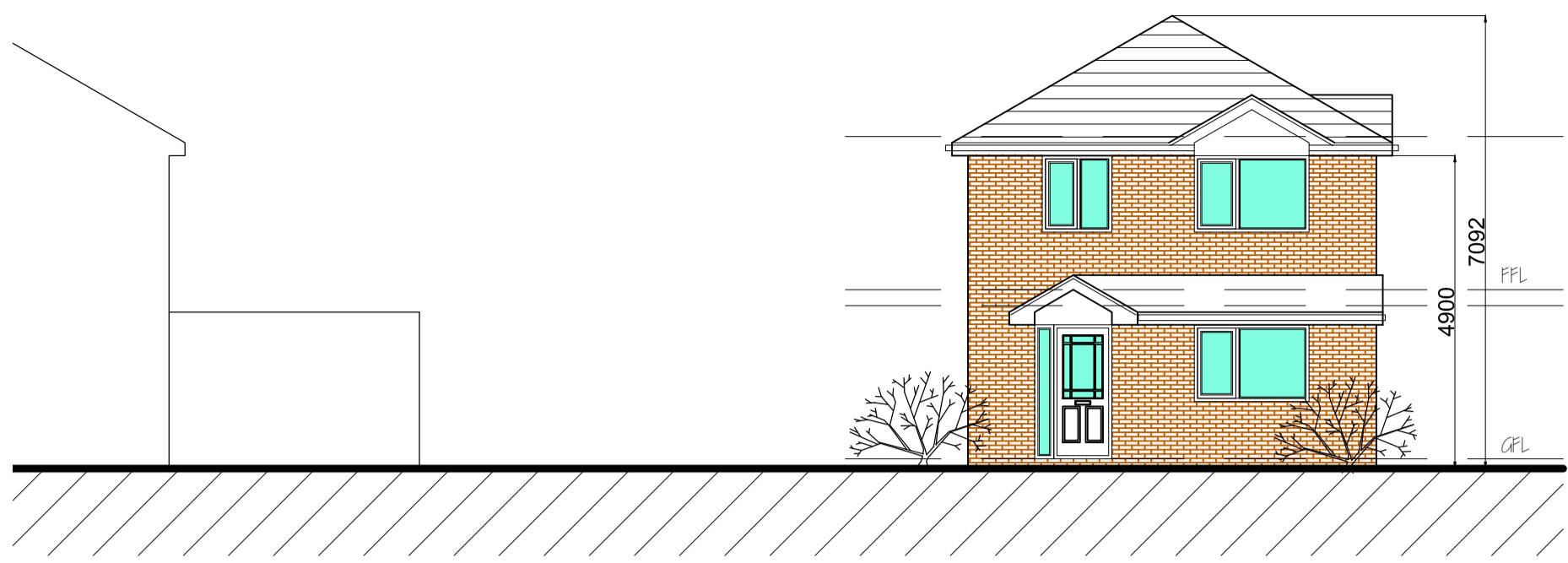
The development shall be retained as such thereafter.

13. The car parking spaces to serve the development hereby approved shall be laid out as shown on the approved proposed site plan (Drg no. JK/986\_01 Rev. A), prior to the first occupation of any of the dwellings hereby approved and shall be retained free from obstruction for their intended use thereafter.
14. No tree felling or vegetation removal shall take place during the optimum period for bird nesting (March to July inclusive) unless otherwise agreed in writing with the Local Planning Authority.
15. No development above ground level shall commence until details of Biodiversity enhancement measures to be installed as part of the development hereby approved has been submitted to and approved in writing by the Local Planning Authority. The details shall include a specification of the installations and scaled plans showing their location within the development. The approved enhancement measures shall be installed in accordance with the approved details, prior to the first occupation of any of the dwellings and shall be retained as such thereafter.
16. No development shall commence until tree protection measures to meet the requirements of BS5837:2012 have been installed around all of the trees on the site to be retained (including the trees protected by Tree Preservation Orders within the site and adjacent to the boundaries of the land.) These measures shall remain in place throughout the duration of the demolition and construction phases of the development, in accordance with the approved details.

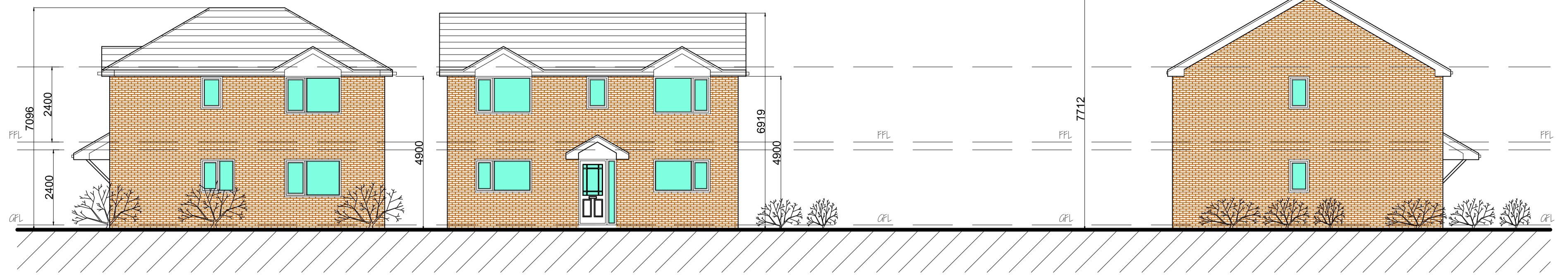


17. The driveways to serve each of the dwellings hereby approved shall be constructed from a bound material and on a level which prevents displacement of materials or surface water onto the highway and shall be retained as such thereafter.
18. None of the dwellings hereby approved shall be occupied until details of the bin storage arrangements to serve the development have been submitted to and approved in writing by the Local Planning Authority. The details shall include scaled plans showing the location of the bin stores and elevations of the means of enclosure and shall provide details of the construction material and colour finish. The bin storage arrangements for each shall be erected in accordance with the approved details, prior to the first occupation of that dwelling and shall be retained as such thereafter.

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FRONT ELEVATION HOUSE TYPE 3  
OLDHAM STREET SCENE

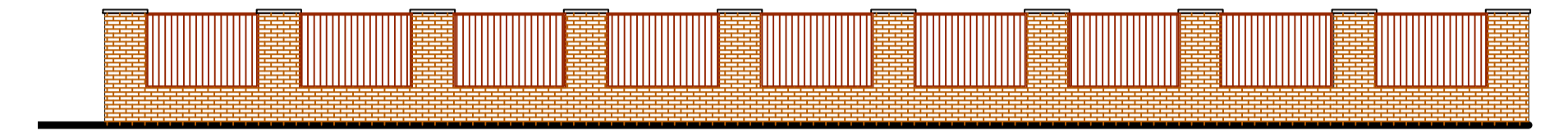


GABLE ELEVATION HOUSE TYPE 3 FRONT ELEVATION HOUSE TYPE 2  
MARKET STREET SCENE

GABLE ELEVATION HOUSE TYPE 1

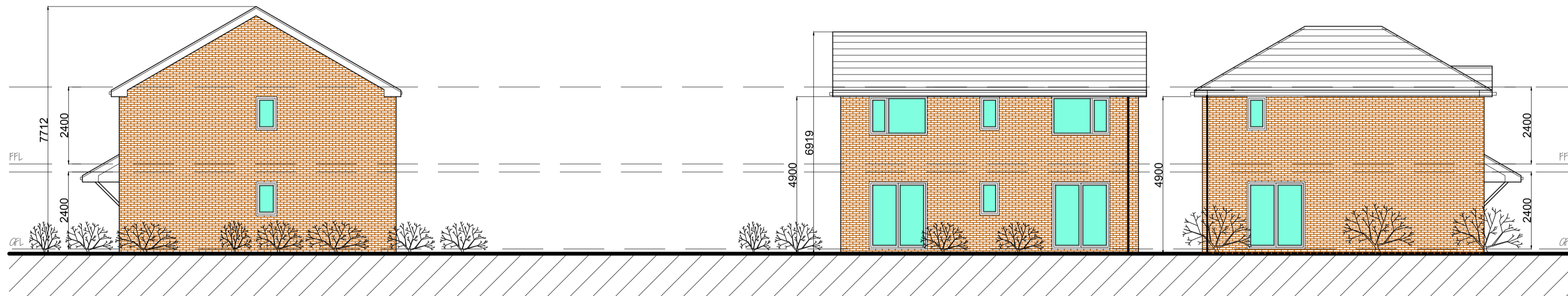


FRONT ELEVATION HOUSE TYPE 1 MARINA DRIVE SCENE



BOUNDARY WALL ELEVATION MARKET STREET

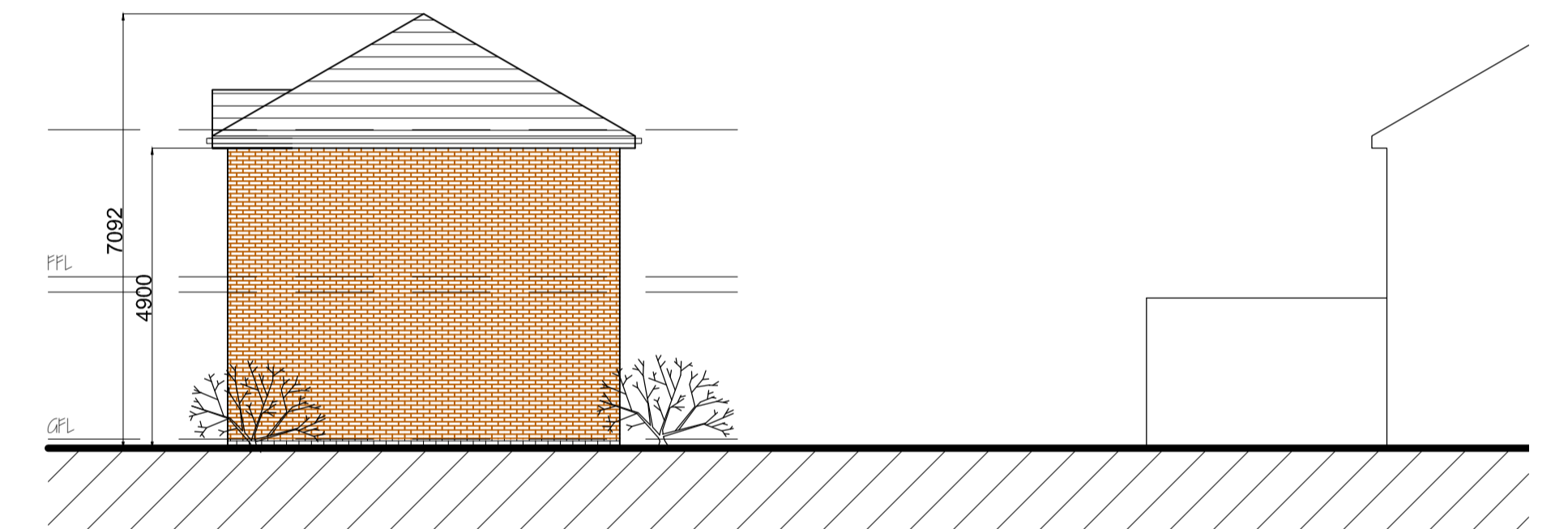
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GABLE ELEVATION HOUSE TYPE 1

REAR ELEVATION HOUSE TYPE 2

REAR ELEVATION HOUSE TYPE 3



GABLE ELEVATION HOUSE TYPE 3

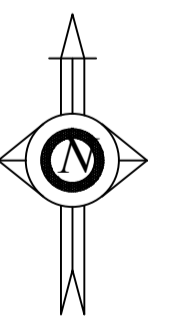


REAR ELEVATION HOUSE TYPE 1

NOTE  
FACING BRICK TYPE AND COLOUR TO BE AGREED WITH PLANNING  
ROOF  
TILE TYPE AND COLOUR TO BE AGREED WITH PLANNING  
UPVC WINDOWS AND DOORS COLOUR TO BE CONFIRMED  
PARKING ONE VEHICLE SPACE PER DWELLING  
CARPARK / PATHS TO BE PERMEABLE TO ALLOW NATURAL DRAINAGE



LOCATION PLAN  
scale 1:1250

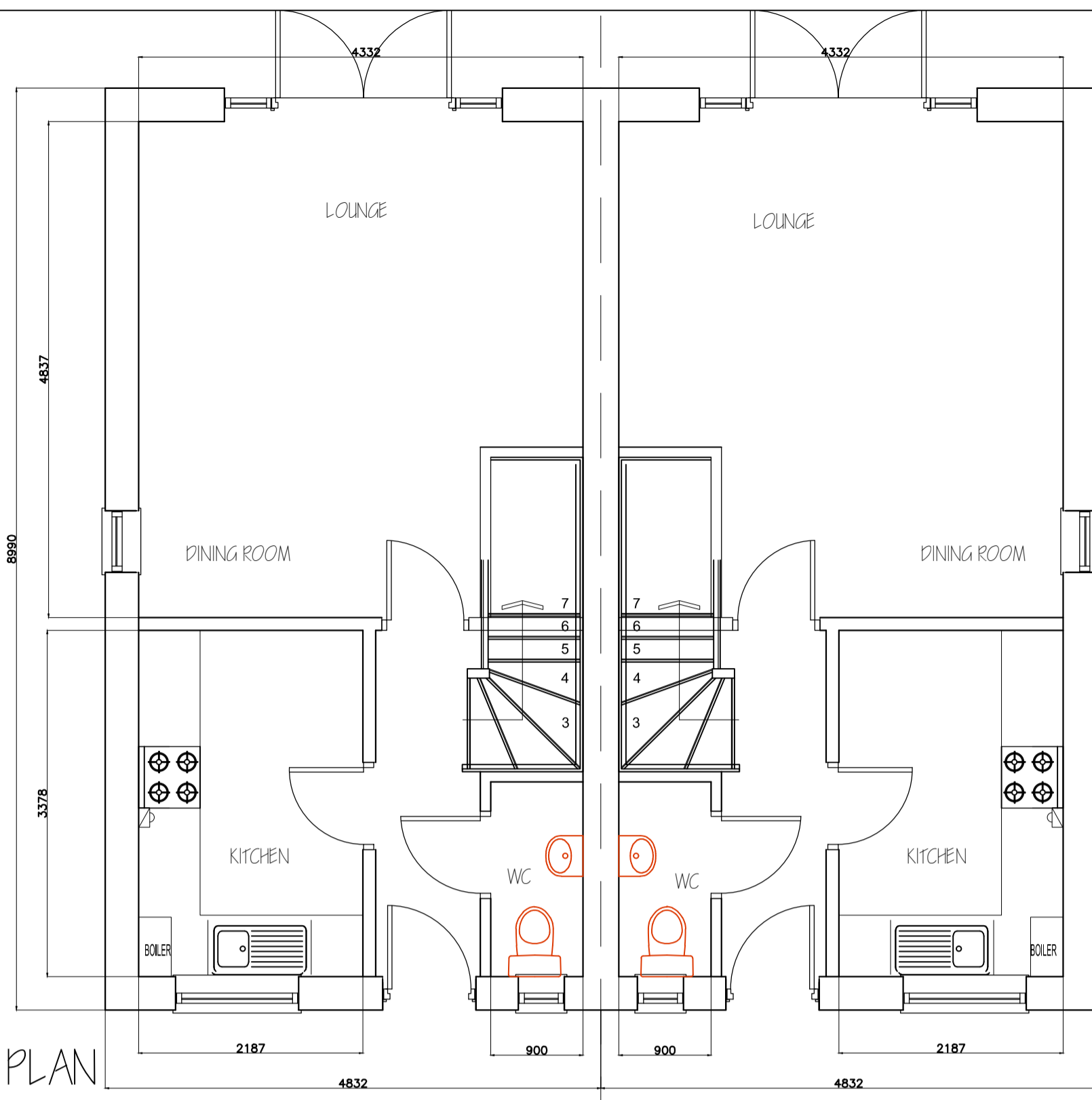


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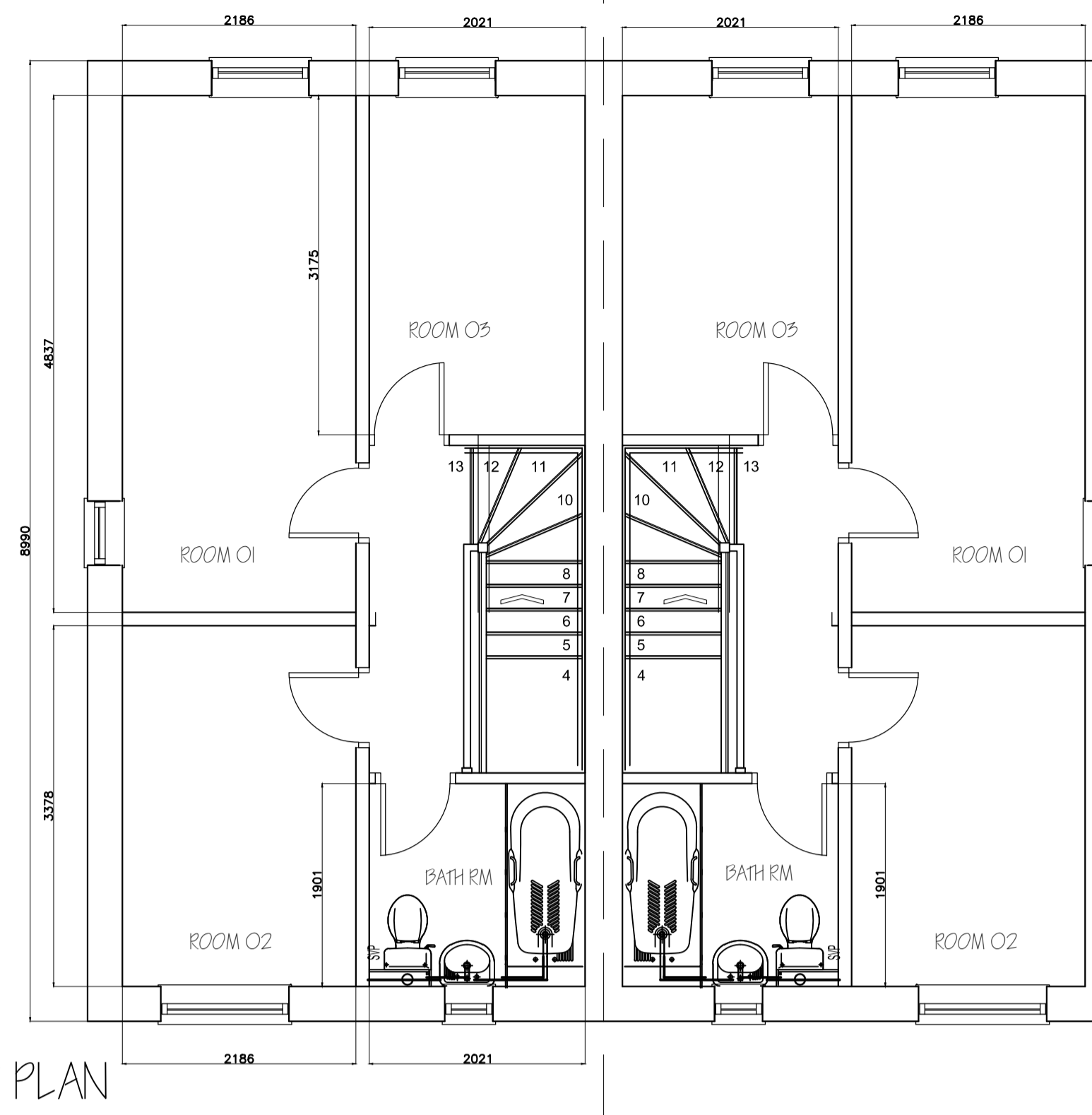
<b>J.KENDAL</b> 9 SOUTH SQUARE THORNTON-CLEVELAYS (0161) 275 1311	
Drawing Title PROPOSED DEVELOPMENT at MARINA DRIVE MARKET ST / OLDHAM ST, DROYLSON	
Project Title MARK LUCAS DEVELOPMENTS 59 SYDNEY RD, BLACKLEY MANCHESTER, M9 6AT	
REV.	DRG NO.
DATE	SCALE
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GROUND FLOOR PLAN

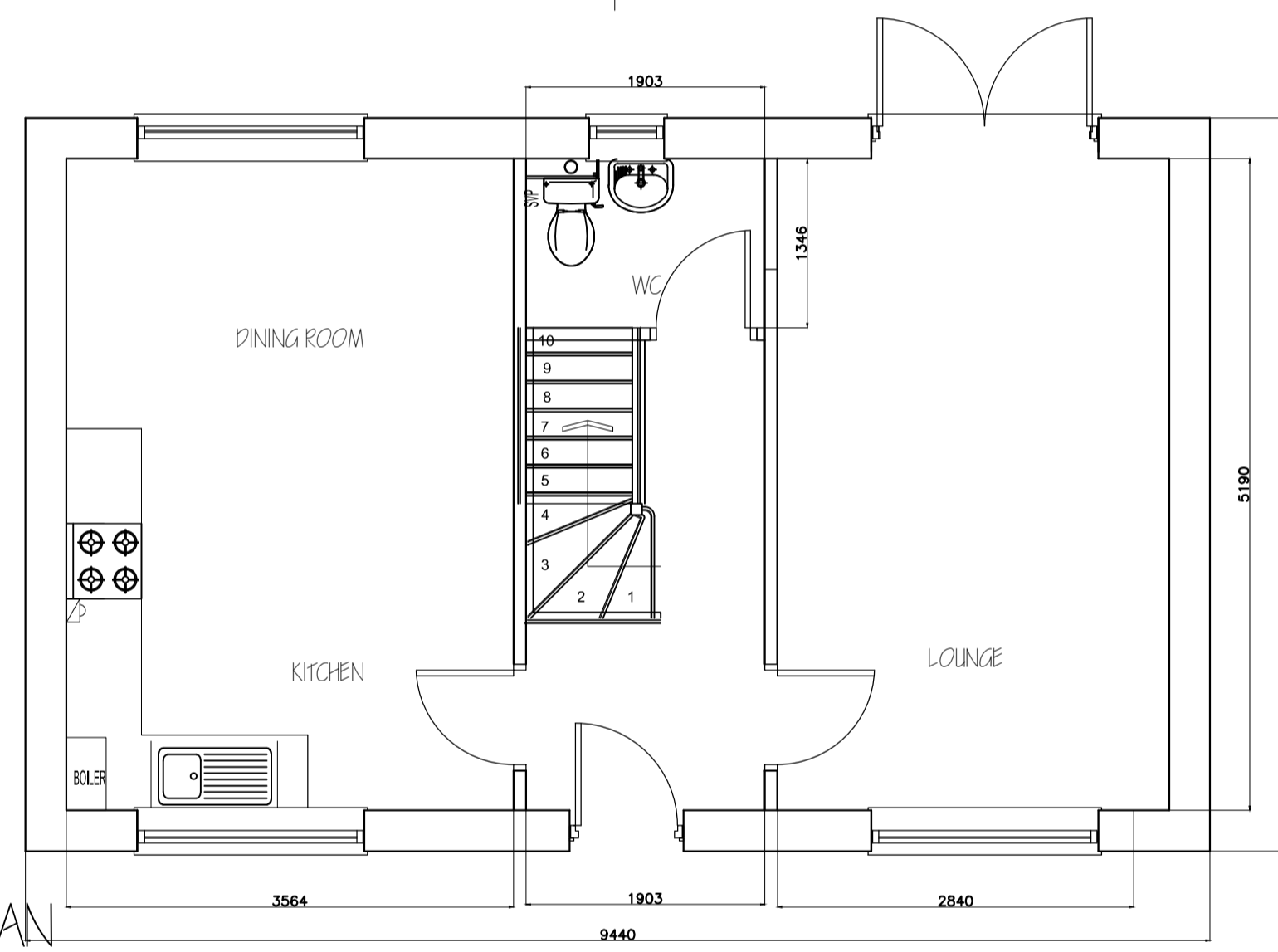


FIRST FLOOR PLAN

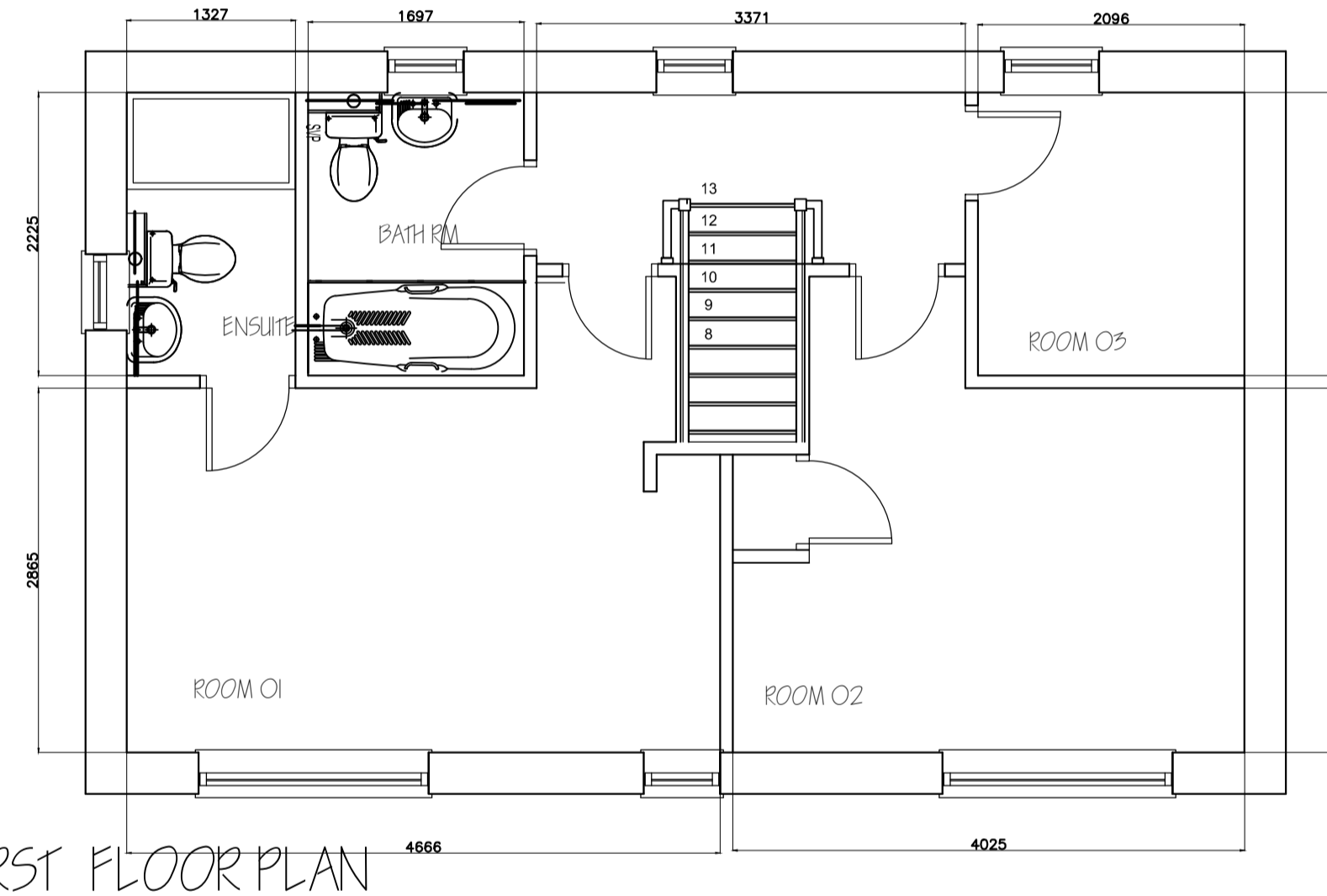
AREAS

House Type O1	
Ground Floor O/ ALL	36.13m <sup>2</sup>
Lounge / Dining	19.29m <sup>2</sup>
Kitchen	7.38m <sup>2</sup>
WC	1.71m <sup>2</sup>
First Floor O/ ALL	36.13m <sup>2</sup>
Room O1	10.57m <sup>2</sup>
Room O2	7.38m <sup>2</sup>
Room O3	6.41m <sup>2</sup>
Bath rm	3.84m <sup>2</sup>
Total O/ ALL floor area	72.26m <sup>2</sup>

HOUSE TYPE 1



GROUND FLOOR PLAN

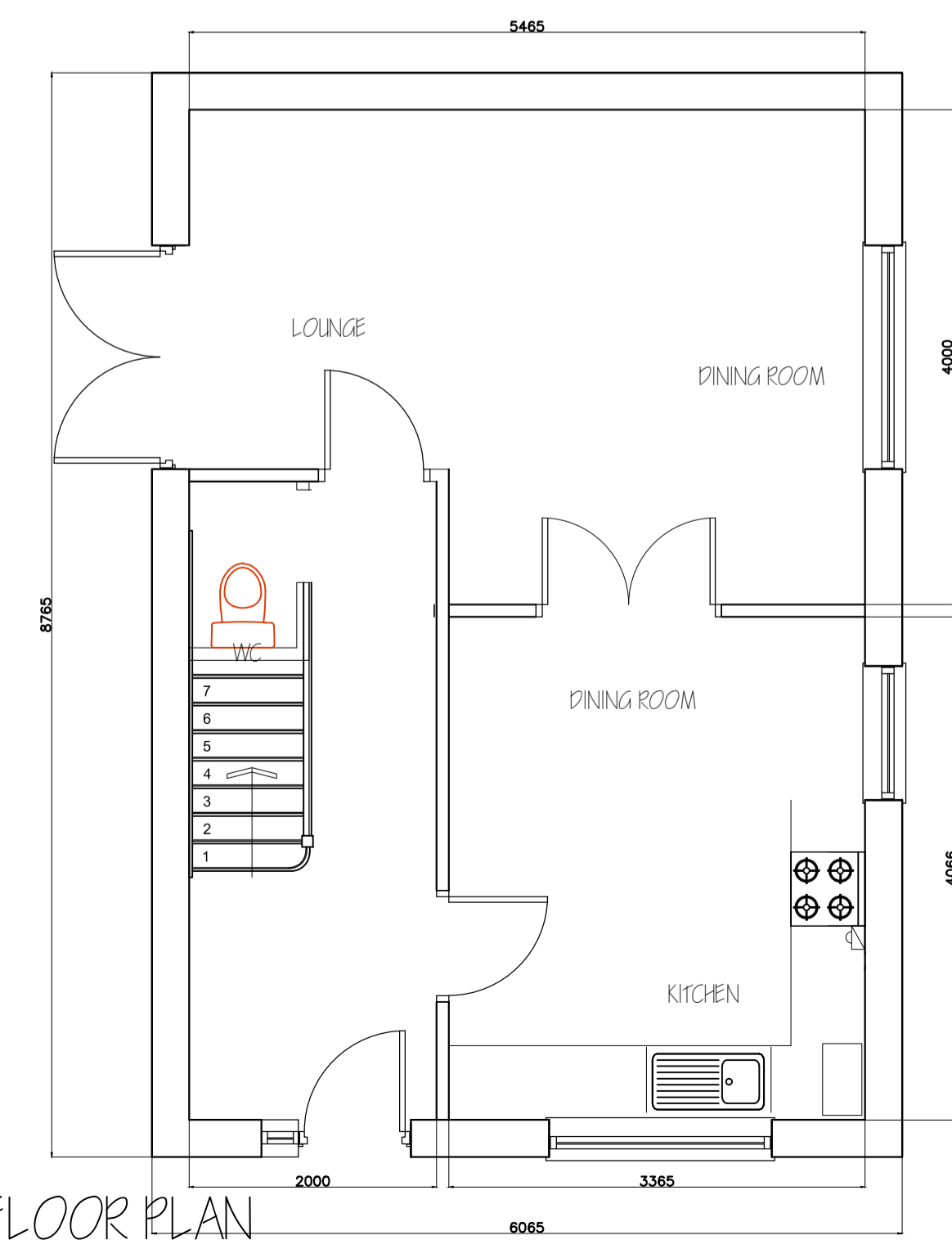


FIRST FLOOR PLAN

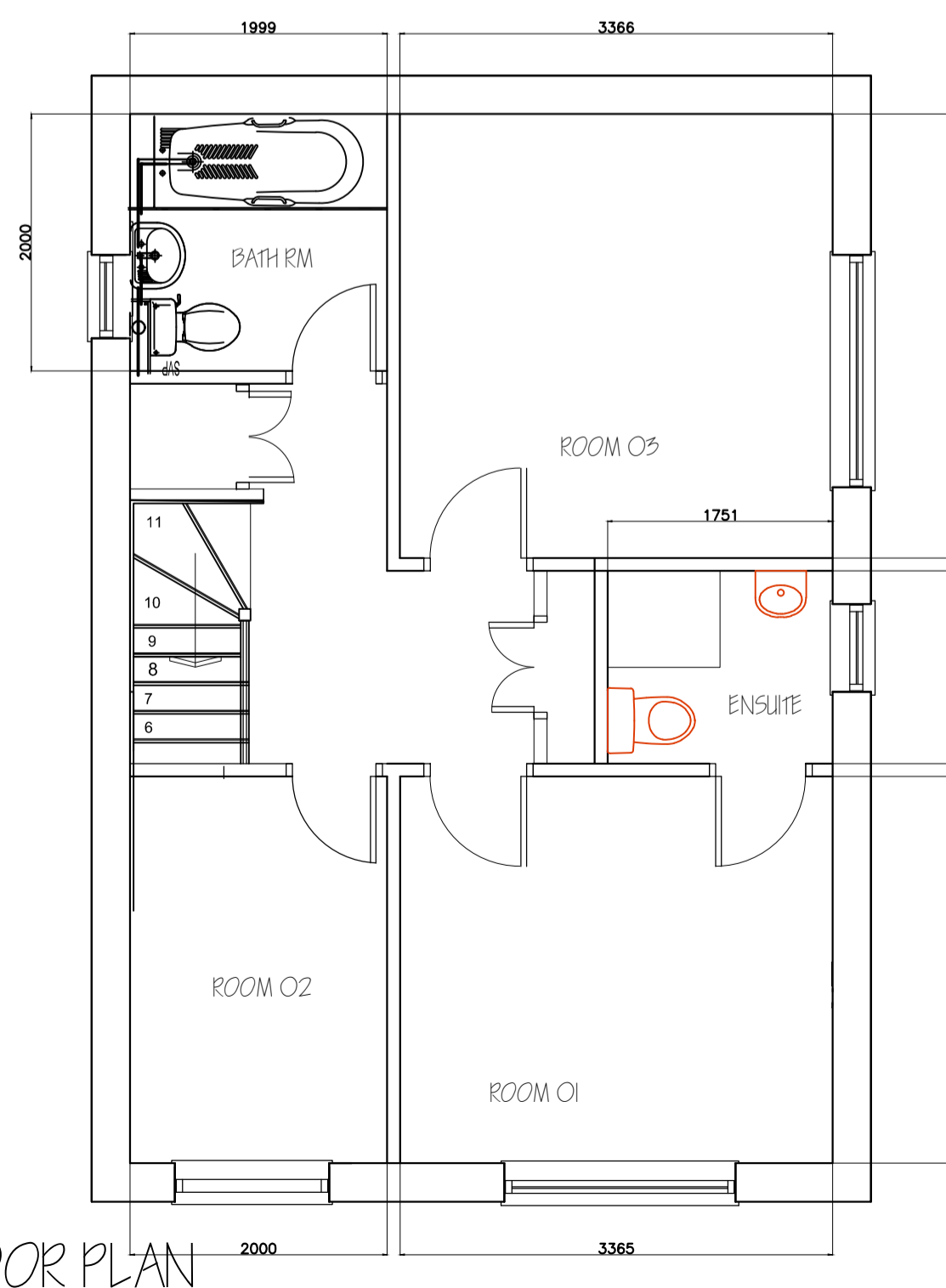
AREAS

House Type O2	
Ground Floor O/ ALL	45.62m <sup>2</sup>
Lounge	16.20m <sup>2</sup>
Kitchen / Dining	18.49m <sup>2</sup>
WC	2.50m <sup>2</sup>
First Floor O/ ALL	45.62m <sup>2</sup>
Room O1	14.15m <sup>2</sup>
Room O2	12.29m <sup>2</sup>
Room O3	4.66m <sup>2</sup>
Ensuite	2.95m <sup>2</sup>
Bath rm	3.74m <sup>2</sup>
Total O/ ALL floor area	91.24m <sup>2</sup>

HOUSE TYPE 2



GROUND FLOOR PLAN



FIRST FLOOR PLAN

AREAS

House Type O3	
Ground Floor O/ ALL	44.63m <sup>2</sup>
Lounge / Dining	19.96m <sup>2</sup>
Kitchen	14.90m <sup>2</sup>
WC	1.17m <sup>2</sup>
First Floor O/ ALL	44.63m <sup>2</sup>
Room O1	10.13m <sup>2</sup>
Room O2	11.63m <sup>2</sup>
Room O3	6.01m <sup>2</sup>
Ensuite	2.62m <sup>2</sup>
Bath rm	3.99m <sup>2</sup>
Total O/ All floor area	89.26m <sup>2</sup>

HOUSE TYPE 3

A) HOUSE TYPE 1: Gable windows added as per elevation 19.07.2018 JK

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING OR ERECTING MATERIALS DO NOT SCALE.



Drawing Title  
PROPOSED DEVELOPMENT at MARINA DRIVE  
MARKET ST / OLDFHAM ST, DROYLSDEN

Project Title  
MARK LUCAS DEVELOPMENTS  
59 SYDNEY RD, BLACKLEY  
MANCHESTER, M9 8AT

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**KEY**

- PROPOSED TREE PLANTING
- PROPOSED HEDGE PLANTING
- PROPOSED SHRUB PLANTING
- TURF (CLOSE MOWN)

**PLANT SCHEDULE**

Trees B=Bareroot, X=times transplanted

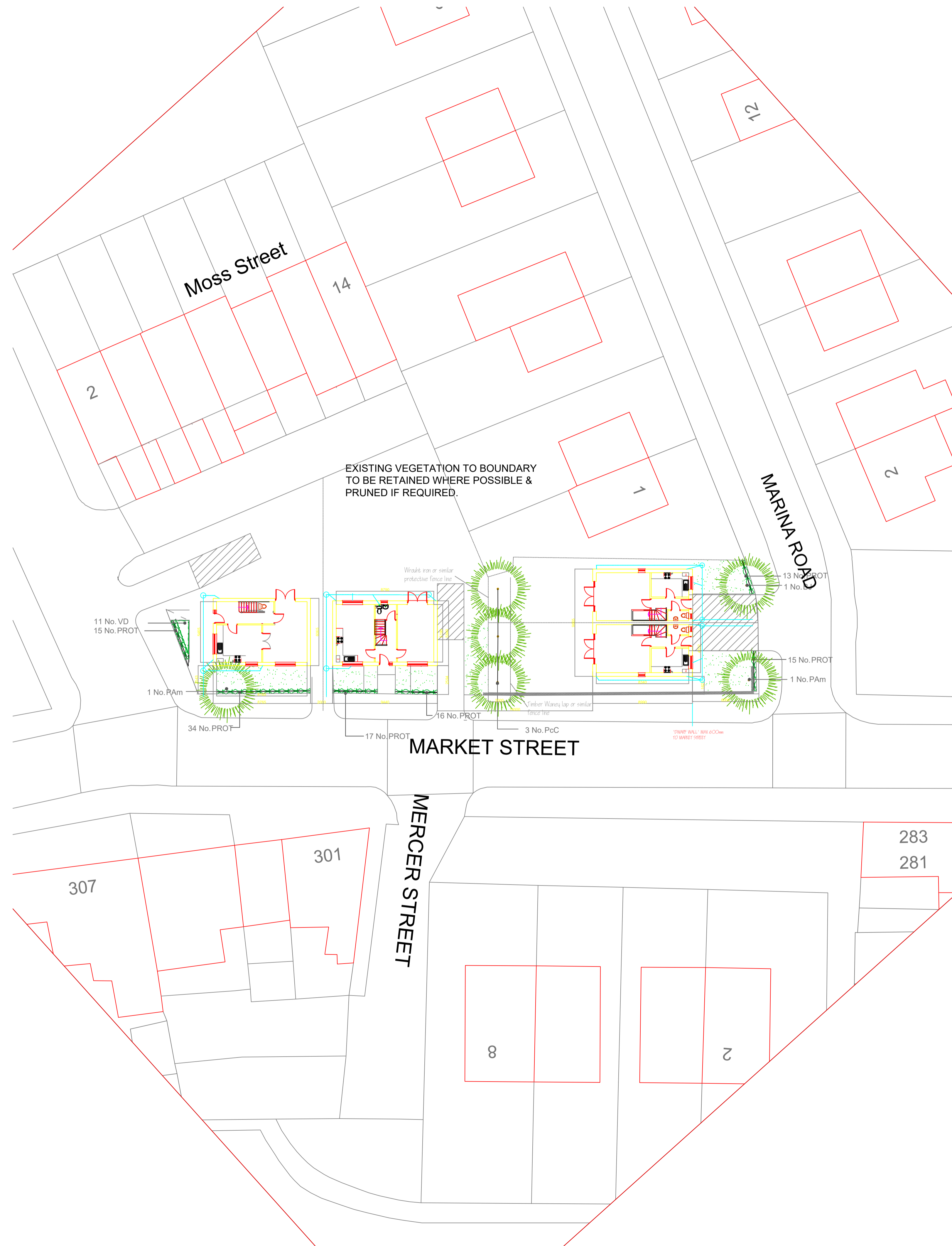
Abbreviation	Species	Height	Girth	Specification	Pot Size	Number of Plants
BJ	Betula utilis jacquemontii	425-600cm	14-16cm	Extra Heavy Standard: 3x	RB	1 No.
PAm	Prunus 'Amanogawa'	350-425cm	12-14cm	Heavy Standard: 3x	B	2 No.
PcC	Pyrus calleryana 'Chanticleer'	425-600cm	14-16cm	Extra Heavy Standard: 3x	B	3 No.
						Total :6 No.

Shrubs	Species	Specification	Height	Pot Size	Density	Number of Plants
VD	Viburnum davidii		30-40cm	3L	6/m <sup>2</sup>	11 No.
						Total :11 No.

Hedges	Species	Specification	Height	Girth	Pot Size	Density	Number of Plants
PROT	Prunus laurocerasus 'Rotundifolia'	Double staggered row	60-80cm		10L	4/m	110 No.
							Total :110 No.



**SPECIFICATION**

**GROUND PREPARATION - GENERAL**

**Preparing for topsoil**  
Grading and cultivation shall be in accordance with BS 4428:1989 section 4. Subsoil that is to receive topsoil shall, whether obviously overcompacted or not, be thoroughly broken up by hand, by heavy rotavator, by subsoiler or lined equipment with adequate passes made to thoroughly break up the surface to a depth of 150mm, cleared of all large stones, bricks, perennial weeds, tree roots (excluding living tree roots), coarse vegetation and other extraneous matter.

**Subsoil grading**  
Subsoil shall only be graded after loosening as above, and this shall be undertaken by the use of a tractor and blade grader on large areas and by a small mechanical grader or by hand on small areas. Ground shall at no time be traversed by heavy machinery, for grading or any other purpose after subsoiling and/or topsoiling has taken place.

**Making up levels**  
When subsoil is deposited in low lying areas to raise formation levels, it shall be lightly consolidated and left broken up ready to receive topsoil. Imported fill material shall be natural subsoil free from metal, concrete or organic material with any one dimension greater than 100mm. All imported fill material shall be approved by the Landscape Architect prior to spreading on site.

**Supply of topsoil**  
Topsoil to be supplied shall be approved by the Landscape Architect and details of the source of supply shall be provided in order that inspection may be made before delivery commences. Topsoil shall conform to BS 3882: 2015, Recommendations and classification for topsoil, clause 4.1a. The soil shall be free of weeds, roots or perennial weeds, pests, diseases, debris, tree roots, sticks, subsoil and foreign matter and shall be capable of being broken down to a fine tilth.

**Temporary topsoil heaps**  
The depositing of temporary heaps of topsoil shall be so arranged that possible damage to existing grass, plants, tarmac, paving etc, is avoided. Unless otherwise agreed by the Landscape Architect, temporary spoil heaps shall be on protected ground. Such protection shall take the form of tarpaulins, plastic sheets, boards or similar covering. If damage does occur, it shall be made good at the contractor's own expense. Areas excavated to receive topsoil shall have not had the base loosened shall not be used as temporary off loading areas. If the bottom of the excavation has been loosened off, loading on these areas is permissible.

**Spreading topsoil**  
Prior to topsoil replacement the formation level shall be cleared of all stones, rubbish, debris with any one dimension greater than 75mm. Areas to be seeded or turfed shall be covered by topsoil 100mm thick and areas to be planted shall be covered by topsoil 400mm thick. Topsoil shall be spread in an evenly consolidated layer and shall be left clear of all roots, stones and debris with any one dimension greater than 50mm throughout its depth. Unless otherwise stated the finished level shall be 25mm above adjacent hard areas. No topsoil shall be spread until the subsoil grade has been inspected by a Landscape Architect.

**PLANTING**

**Cultivation**  
Planting areas shall be rotovated to a depth of 225mm in the original ground, or where the ground is compacted, ripped and rotovated. Pick off stones, bricks, timber and all other debris arising which have any dimensions greater than 50mm and remove off site to tip. Do not cultivate across any drain where the stone is flush with the ground surface.

**Soil improvers**  
Where directed composts, fertilisers or other additives shall be incorporated into the soil. Spent mushroom compost or similar shall be spread to the specified thickness and incorporated, by rotovating, into the top 150mm. Fertilisers, organic or inorganic, shall be raked into the top 25mm.

**Rejection of plants**  
All plant material should comply with the minimum requirements in BS 3936:part 1, specification for trees and shrubs and part 4, specification for forest trees, BS 4043, recommendations for transplanting semi-mature trees and BS 5236 recommendations for cultivation and planting trees in the advanced nursery stock category. Any plant material, which in the opinion of the Landscape Architect, does not meet the requirements of the Specification, or is unsuitable, or defective in any other way, will be rejected. The minimum specified sizes in the plant schedule will be strictly enforced. The contractor shall replace all plants rejected at his own cost.

**Planting**  
All plant material shall generally be planted between November and March in open cool weather. Planting shall not take place in frosty, snowy or waterlogged conditions. Where approved, pot or container grown plants may be planted outside the described season, but adequate watering shall be supplied. Top or damaged roots and branches shall be clearly pruned prior to planting.

**Planting of whips, transplants and shrubs**  
The nature of the material to be planted is variable and the contractor shall allow for planting to be properly carried out in all cases as described in BS 4428: 1989 section 7 generally tree planting, section 8 Woodland planting and section 9 Planting of shrubs, herbaceous and bulbs. All plants shall be planted at same depth, or very slightly deeper, as they were grown. Roots shall not be bent, broken or forced into inadequate pits or rootballs. Plants shall be upright, firmed in and wind resistant, with no air pockets around roots. All pots and root wrappings shall be carefully removed prior to planting. All pots and wrappings arising shall immediately be picked up and stored ready for removal to tip. Plants shall be planted at the specified centres. On steep slopes this shall be in the horizontal measure.

**Tree planting within soft landscape areas**  
Trees shall conform to BS: 3936 and be planted in tree pits of the following sizes unless directed otherwise:  
Heavy standards/Extra heavy standards - 1200 x 1200 x 600  
Excavated subsoil or stone shall be carted off site to tip. The bottom 250mm of the pit shall be dug and broken up. The bottom of the pit shall be backfilled with subsoil (site or imported) to comply with BS 8001: 2013. The top 300mm of the pit shall be backfilled with imported topsoil as specified unless directed otherwise.

**Compost for planting pits**  
Compost shall be a proprietary product, bark based incorporating fertilisers and improving additives. The type of compost shall be approved before its delivery on site, and the details of the product shall be supplied. Cambark planting compost is approved. Where directed compost shall be added and mixed with topsoil backfill at the following rates:  
Heavy standards/Extra heavy standards - 80 litres

**Stakes for trees**  
Stakes shall be peeled round softwood, pointed, minimum diameter 75mm. The stakes shall be driven into the base of the tree pit prior to placing the tree and backfilling. Stakes shall in general have a clear height above the finished ground level as follows:  
Heavy standards/Extra heavy standards - 1200mm (2 stakes, one tie each)  
The stake shall be long enough to drive until they hold the tree firmly without rocking.

**Tree ties**  
Ties for bareroot trees, shall be approved rubber nail-on type with cushioned spacer such as Toms, or other equal and approved. Nails shall be flat headed galvanised and shall hold the ties securely into the stake. Ties shall not be over tight on the tree stems. Ties available from J Toms Limited, Wheeler Street, Headcorn, Ashford, Kent, TN27 9SH.  
Heavy standards/Extra heavy standards - Type L3 (one tie per stake)

**Ties for rootball and container grown trees** shall be 50mm rubber tree belts in a figure of eight around the tree. Fixed to the stake with two flat head galvanised nails.  
Feathered - one belt  
Selected standards Type - two belts  
Heavy standards/Extra heavy standards - two belts

**Planting of trees**  
The tree shall be set upright and at the same depth as grown in the nursery, the roots shall be spread out (bareroot) and the subsoil followed by compost topsoil mixture, backfilled. Backfilling should be done to ensure close contact between roots and by firming in layers (bareroot). The soil shall be left level and tidy, any subsoil clods, bricks or stones over 50mm arising, collected and carted off site.

**Mulching**  
A 75mm compacted layer of medium grade pulverised bark, with a particle size of not more than 100mm and containing no more than 10% fines, shall be spread to form a continuous layer covering the whole of the bed, or in the case of standard trees within grass shall be in the form of a circle of 600mm diameter around the base of the tree. Whips and transplants shall be mulched in the form of a 300mm diameter circle around the base of the tree. Where trees are planted within grass a circular hemp mulch mat is required beneath the layer of mulch at the diameters stated above, secured with fixing pegs. The tree pit surface shall be as big as possible.

**Turfing**

**Soil preparation and cultivation**  
All areas to be turfed shall be cultivated to a depth of at least 100mm. All weeds, stones and refuse larger than 50mm shall be removed to Contractor's tip, and shall be brought to a fine tilth. Allow for hand cultivation where machine work is not possible.

**Turf**  
Turf shall be extra-quality meadow turf and shall comply to BS 3969 and shall be laid in accordance with BS 4428 section 6, Turfing. The contractor shall supply a sample of the turf he proposed to use for approval of the Landscape Architect and shall ensure that all turves are similar to the approved sample. The Contractor shall inform the Landscape Architect of the location of the supply, so that turf can be inspected prior to lifting.

**Season**  
Turf shall be laid when weather and soil conditions are suitable and, where possible, preference should be given to autumn and early winter operations. No turf shall be laid in exceptionally dry or frosty weather or in other unsuitable weather conditions.

**Delivery and stacking**  
For large areas, turf shall be delivered at appropriate intervals throughout the work so as to avoid stacking for long periods.

**Laying**  
No turf shall be laid until the soil preparation has been satisfactorily completed by being brought to an even tilth and firmness. Turves from the stack shall be wheeled to turf layers on planks laid closely side by side. Adequate timber planks shall be used to support operatives and barrows, and provide access. The turves shall be laid in consecutive rows with broken joints (joints broken), closely butted and to the correct levels. The turf shall be laid off planks working over turves previously laid. Where necessary, the turves shall be lightly and evenly firmed with wooden beaters, the bottom of the beaters being frequently scraped clean of accumulated soil or mud. A dressing of finely sifted topsoil shall be applied and well brushed into the joints. Any inequalities in finished levels owing to variation in turf thickness or uneven consolidation of soil shall be adjusted by raking and/or packing fine soil under the turf. A roller shall not be used. The finished levels of the turf shall conform to the levels indicated, allowing for final settlement. Turf edges and margins shall be laid with whole turves. Turves adjoining buildings, walls or fences shall be taken to the face of the structure, giving complete soil cover.

**Laying around trees**  
Turf shall not be laid within 300mm of any tree trunk.

**Watering**  
The Contractor shall be responsible for the replacement of any scorched turf. All necessary watering shall be carried out with sprinklers or oscillating sprays so as not to wash soil out of joints. If shrinkage occurs and the joints open, fine topsoil shall be brushed in and well watered.

**MAINTENANCE**  
All maintenance to be carried out up to handover to the adopting authority/ householder from the date of planting and turfing to ensure successful establishment. All dead, diseased, damaged plants must be replaced during this time unless the local Planning Authority states, in writing, any variation to this.

**Weeding**  
All beds to be kept weed free by cultivating and by using approved herbicides. Beds to be forked over as necessary to keep soil loose to approved cambers with no hollows.

**Pruning**  
All appropriate time, prune plants to remove dead, dying or diseased wood and suckers to promote healthy growth and natural shape.

**Watering**  
The Contractor shall ensure that sufficient water is applied to maintain healthy growth.

**Litter**  
Site to be kept free of litter.

**Grass cutting**  
The initial cut shall be carried out when first growth is apparent, blades set 20mm above ground. The Contractor shall continue cutting at appropriate intervals during the growing season and maintain 40mm high sward until grass areas are handed over. Watering, weeding, cutting, repair of all erosion and settlement and re-seeding as necessary to establish a uniform and healthy stand of grass shall continue until handover to the householder.

**PROTECTION TO EXISTING TREES**  
The recommendations in BS 5837 (2012), Trees in Relation to Design, Demolition & Construction.  
No pruning, lopping, felling or severance of roots is to take place without prior consent of the local authority.  
Any work to the existing trees is to be carried out by a qualified tree surgeon.  
The position and construction of protective fencing shall be agreed with the local authority prior to any site works commencing.  
Under no circumstances must any materials be stored under the canopy of existing trees, and no cement, diesel or oil stored near them.  
No vehicles should pass under the canopy of existing trees.  
No fires should be lit in close proximity to existing trees.  
No ropes, cables, services or notice boards shall be fixed to existing trees.  
Under no circumstances should the levels around existing trees be either raised or reduced.  
Scaffolding may only be erected within protected areas if it is done so in accordance with BS 5837.  
Any excavations under existing tree canopy spreads shall be done by hand.

Amendments to client comment 16.08.18 B NC  
Amendments to client comment 07.08.18 A NC

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**tba**  
Trevor Bridge Associates Ltd  
Landscape Architecture  
Arboriculture

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Project  
MARKET ST, MARINA RD, DROYLSDEN

MARK LUCAS DEVELOPMENTS

Title  
LANDSCAPE PROPOSAL

Date Aug'18 Scale(s) 1:200 Dwg no 5825.01 Rev B  
@ A1  
Dwn Chkd NC DG

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ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO ORDERING OR ERECTING MATERIALS DO NOT SCALE.

A1 UPDATED TO PLANNING REQUIREMENTS 19.08.2018 JK  
THIS DRAWING TO BE READ IN CONJUNCTION WITH TREVOR BRIDGE ASSOCIATES LTD LANDSCAPE DRAWINGS ETC

**J.KENDAL**  
9 SOUTH SQUARE  
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01753 51311

**Project Title**  
PROPOSED DEVELOPMENT at MARINA DRIVE  
MARKET ST / OLDFHAM ST, DROYLSDEN

**Client**  
MARK LUCAS DEVELOPMENTS  
59 SYDNEY RD, BLACKLEY  
MANCHESTER, M9 6AT

<b>REV.</b> A	<b>DRG NO.</b> K / 996_01
<b>DATE</b> JUN 2018	<b>SCALE</b> 1:100 @ A1

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**Application Number: 18/00130/FUL**

**Photo 1 – view looking northwards along the western boundary of the site, which runs parallel with Market Street**



**Photo 2 – property adjacent to the south eastern corner of the site on Marina Road**





**Photo 3 – view of south western corner of the site on the junction of Marina Road and Market Street (with properties on Bell Street in the background)**



**Photo 4 – view looking southwards along the western boundary of the site (neighbouring property on Marina Road in view)**



**Photo 5- view of rear of properties on Moss Street adjacent to the north eastern boundary of the site**



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**Application Number** 18/00278/FUL

**Proposal** Change of use from storage and distribution (Use Class B8) to office accommodation (B1), coffee shop (A3) and a new internal data centre (sui generis) with supporting sub-station and generator compound externally with, subject to separate application, a fence enclosure.

**Site** Ashton Old Baths, Stamford Street West, Ashton

**Applicant** TMBC

**Recommendation** Approve, subject to conditions, and authorise the closure of a section of the public highway in Fleet Street

**Reason for report** A Speakers Panel decision is required because, in accordance with the Council's Constitution, in association with the granting of planning permission authorisation is sought for closure of a section of the public highway in Fleet Street.

## REPORT

### 1. APPLICATION DESCRIPTION

1.1 The application is one of three concurrent applications appertaining to Ashton Old Baths and seeks full planning permission for the change of use of what is known as the eastern annexe of the building to accommodate offices (use class B1), a coffee shop (use class A3) and a new internal data centre (sui generis use). Permission is sought also for an external sub-station and generator compound in Fleet Street.

1.2 The proposed data centre is intended to host council, NHS and commercial computer systems in a controlled environment and comprise a single-storey, modular room within the annexe.

1.3 The application is accompanied by a Heritage Statement: Significance and Impact.

1.4 The concurrent applications are:

ref. 18/00194/FUL, seeking full planning permission for the change of use of section of Fleet Street from highway to service yard, including the installation of a 2.4m high metal louvred fence; and,

ref. 18/00321/LBC, seeking listed building consent for internal works, repairs, restoration and alterations, to accommodate the proposed office accommodation, coffee shop and data centre with supporting sub-station and generator.

### 2. SITE AND SURROUNDINGS

2.1 Located on the south side of Henry Square, Ashton Old Baths is a grade II\* listed building situated in the town centre conservation area and is at the heart of the St Petersfield redevelopment scheme. The building sits on an island site bounded by Stamford Street West to the north, Fleet Street to the east and south, and Welbeck Street to the west. The A635 Park Parade town centre by-pass is situated parallel with Fleet Street to the south.

- 2.2 The building comprises the main former pool hall that now accommodates a free-standing office pod, and ancillary facilities (see paragraph 3.3) and an annexe on the eastern side that remains vacant and accommodated originally a smaller swimming bath for women and a number of private (slipper) baths together with the Turkish and hot air baths.

### **3. PLANNING HISTORY**

- 3.1 In order to address the decline of the area known now as St Petersfield, and the Old Baths, which is the landmark building, outline planning permission (ref. 02/01443/OUT) was granted initially in May 2003 for the comprehensive redevelopment of the area, and again, with some modifications (ref. 04/00040/OUT), in May 2004. The proposal was that the redevelopment would include a mix of uses, but primarily business uses, with an element of residential use, and ancillary retail uses so as to provide a new business quarter for the town. A Masterplan included with these applications envisaged the Old Baths having the potential to accommodate either an hotel or a business centre.
- 3.2 Prior to the evolution of the St Petersfield scheme, planning permission (ref. 80/00119/FUL) was granted to use the Old Baths for light industrial and storage accommodation. Confirmation of the lawfulness of the use of the building for light industrial, or business, use was issued (ref. 14/00381/CLUD) in May 2014.
- 3.3 More recently and significantly, in accordance with the authorized use of the building, listed building consent (ref. 14/00575/LBC) allowed for:
- Phase 1 works, comprising external and internal works, repairs, and alterations to the former main pool hall including the erection of an internal free-standing structure; and,
- Phase 2 works, comprising essential works to secure repairs to and the structural integrity of the remaining parts of the building.
- 3.4 The current applications comprise Phase 3 works to the building.

### **4. RELEVANT PLANNING POLICIES**

- 4.1 **Tameside Unitary Development Plan (UDP) Allocation**  
Allocated Development Opportunity Area within Ashton town centre conservation area
- 4.2 **Part 1 Policies**
- 1.1: Capturing Quality Jobs for Tameside People
  - 1.3: Creating a Cleaner and Greener Environment.
  - 1.5: Following the Principles of Sustainable Development.
  - 1.6: Securing Urban Regeneration
  - 1.7: Supporting the Role of Town Centres
  - 1.11: Conserving Built Heritage and Retaining Local Identity
  - 1.12: Ensuring an Accessible, Safe and Healthy Environment.
- 4.3 **Part 2 Policies**
- E2 (1): Development Opportunity Area: office, leisure, residential, light industrial and supporting retail uses.



E6: Detailed Design of Employment Developments  
S7: Food and Drink Establishments and Amusement Centres  
T1: Highway Improvement and Traffic Management.  
C2: Conservation Areas.  
C4: Control of Development in or Adjoining Conservation Areas.  
C5: Alternative Uses, Alterations and Additions for Listed Buildings.  
C6: Setting of Listed Buildings  
C7: Enabling Development for Conservation of Heritage Assets.  
MW11: Contaminated Land.

#### 4.4 **Other Policies**

Employment Land Supplementary Planning Document.

Ashton-under-Lyne Town Centre Strategy Supplementary Planning Document

It is not considered there are any local finance considerations that are material to the application.

#### 4.5 **National Planning Policy Framework (NPPF)**

Achieving sustainable development;  
Section 6. Building a strong, competitive economy  
Section 7. Ensuring the vitality of town centres  
Section 9. Promoting sustainable transport  
Section 12. Achieving well-designed places  
Section 15. Conserving and enhancing the natural environment  
Section 16 Conserving and enhancing the historic environment

#### 4.6 **Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

### 5. **PUBLICITY CARRIED OUT**

- 5.1 The application has been advertised by means of neighbour notification letters dispatched on 29 May 2018 to 8 addresses in Portland Street South, Old Street, Stamford Street West, Welbeck Street South and Bentinck Street, and with a notice being posted at the site on 15 May 2018.

### 6. **RESPONSES FROM CONSULTEES**

- 6.1 The Head of Environmental Services (Highways) has raised no objections to the proposal.
- 6.2 The Head of Environmental Services (Public Protection) has no objection to the proposal and suggested that conditions restricting the hours of construction work and requiring acoustic insulation of plant and machinery be attached to any permission.

## **7. SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

7.1 No responses have been received.

## **8. ANALYSIS**

8.1 There being no residential properties, nor any firm proposals for any future residential development, in the immediate vicinity, and so minimal impact on any residential amenities, the issues to consider in determining the application are:

the appropriateness of the introduction of the new uses in to the listed building in this location; and then whether the closure of a section of Fleet Street to accommodate a sub-station is acceptable to facilitate the change of use;

and, the impact of these developments on the setting of the listed building, the character and appearance of the conservation area and the local highway network.

## **9. APPROPRIATENESS OF THE CHANGE OF USE**

9.1 The use of the Annexe as offices, with a smaller coffee shop, is wholly appropriate. Both offices and a coffee shop are a main town centre use as defined by the NPPF. The uses accord with the both the Development Opportunity Area and original Masterplan designations. Meanwhile, the Ashton Town Centre Strategy SPD includes the aspiration that St Petersfield will be developed to create a high quality commercial-led mixed use environment, providing Ashton with its first town centre business park.

9.2 The proposed data centre use does not sit comfortably within any defined Use Class and so is considered to be sui generis (ie, a use that does not fall within any particular Use Class, or a use of its own kind). The use would provide support for business and so is considered compatible and comparable with the proposed office use.

9.3 The building is situated in a relatively highly accessible town centre location and so the proposal, being to bring a vacant section of the building back in to beneficial use, is inherently a sustainable development that would secure a viable future for the listed building. It is therefore considered that the proposed change of use of the building is compliant with: the core principles and Sections 6, 7, 9 and 16 of the NPPF; policies E2 (1), E6, S7, C2 and C5 of the UDP; and the SPD.

## **10. SUB-STATION AND FLEET STREET CLOSURE**

10.1 The proposed sub-station and generator would be detached from the building and occupy land currently within the highway in Fleet Street. The plant would be enclosed by a 2.4m tall, grey-coloured, steel louvred fence which is the subject of the concurrent application, ref. 18/00194/FUL. The sub-station and plant would then not be visible from the street.

10.2 The presence of the enclosed sub-station and plant would impact on the setting of the listed building and the character and appearance of the conservation area in which it is set. Views of the Old Baths are from the east and west along Stamford Street and mainly from Henry Square in the north. The location of the proposed sub-station and plant, on the southern side of the

building, at the very southern edge of the conservation area, is relatively secluded with passing views being mainly from the Park Parade town centre by-pass.

- 10.3 Paragraph 196 of the NPPF states that: Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use. For the purposes of such assessment it is considered that the presence of the sub-station and plant, views of which would be obscured by the proposed fence, would lead to less than substantial harm to the significance of the listed building and the character and appearance of the conservation area as heritage assets and that this harm would be majorly out-weighed by the public benefits that would accrue from the this element of the development, which is necessary to secure the optimum new use for the annexe to the listed building. It is therefore considered that this element of the proposal is compliant with: the core principles and Sections 6, 7, 9, 12 and 16 of the NPPF; policies E2 (1), E6, S7, C2, C4 and C6 of the UDP; and the SPD.
- 10.4 The key traffic route through St Petersfield is along Old Street. The section of Fleet Street on the southern side of the Old Baths serves only to link two temporary car parks on either side of the building; it is rarely used, and not required, as a through route.
- 10.5 Having been consulted on the application the Head of Environmental Services (Highways) has raised no objection and so in these circumstances it is considered that the impact on the local highway network would not be severely detrimental and so the proposal is compliant with Section 9 of NPPF and policy T1 and of the UDP.

## **11. CONCLUSION**

- 11.1 Without impinging unduly on any existing amenities, it is considered that the proposed development would facilitate the retention of a unique part of the heritage of Ashton, whilst the restoration and increased use of the building will continue to build on the success of the completed Phase 1 and 2 works and act as a catalyst for further town centre investment, and constitutes a sustainable development that conforms to the relevant requirements of the Ashton Town Centre Strategy SPD, the UDP and the NPPF. The recommendation is therefore for approval

## **RECOMMENDATION**

Grant planning permission subject to the following conditions:

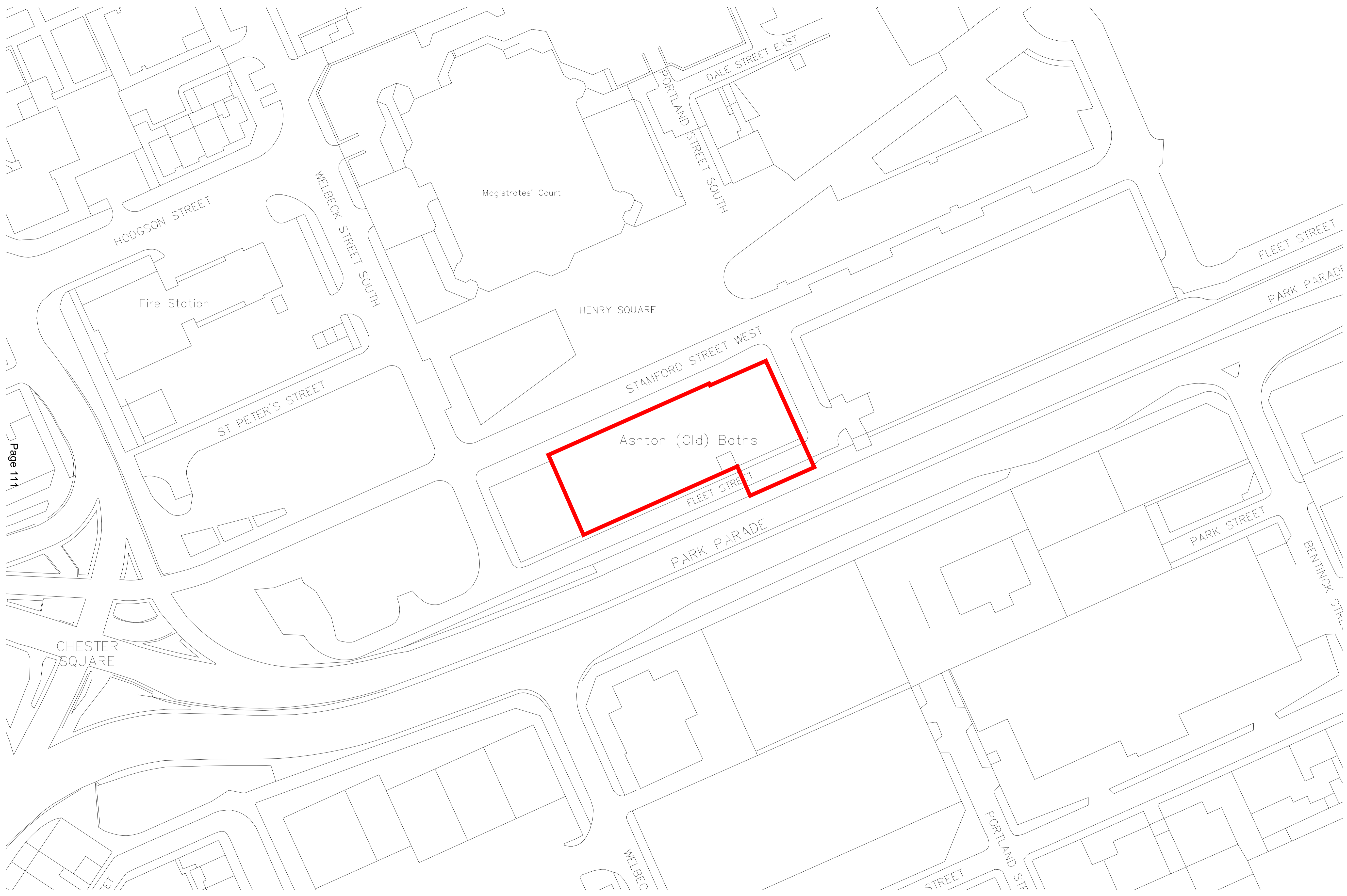
1. The development must begin not later than the expiration of three years beginning with the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans refs.:

02-00-LBC P2  
1064-203-00-LBC P1  
1064-205-101-LBC P2  
1064-205-102-LBC P2  
1064-205-103-LBC P2

3. .During the conversion no work (including vehicle and plant movements, deliveries, loading and unloading) shall take place outside the hours of 07:30 and 18:00 Mondays to Fridays and 08:00 to 13:00 Saturdays. No work shall take place on Sundays and Bank Holidays.
4. All fixed plant and machinery shall be acoustically treated/designed in accordance with a scheme to be agreed in writing with the Local Planning Authority. The agreed measures shall be maintained and retained thereafter
5. Fence permitted by planning permission ref. 18/00194/FUL shall be installed not later than 2 months of completion of works to construct and install the sub-station and generators hereby approved.

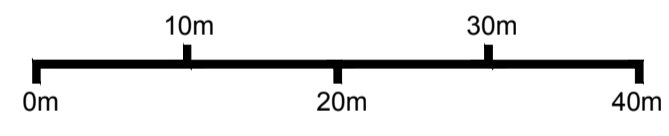
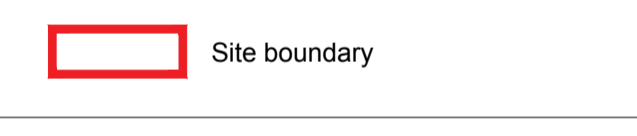
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Rev	Description	By	Date
P1	First Issue	FJS	MAR 18
P2	Site boundary tweaked to suit planning	FJS	AUG 18



Page 111

KEY

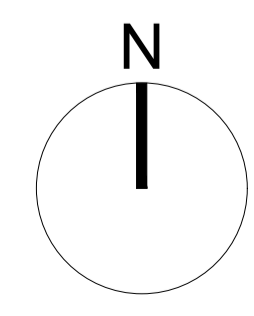


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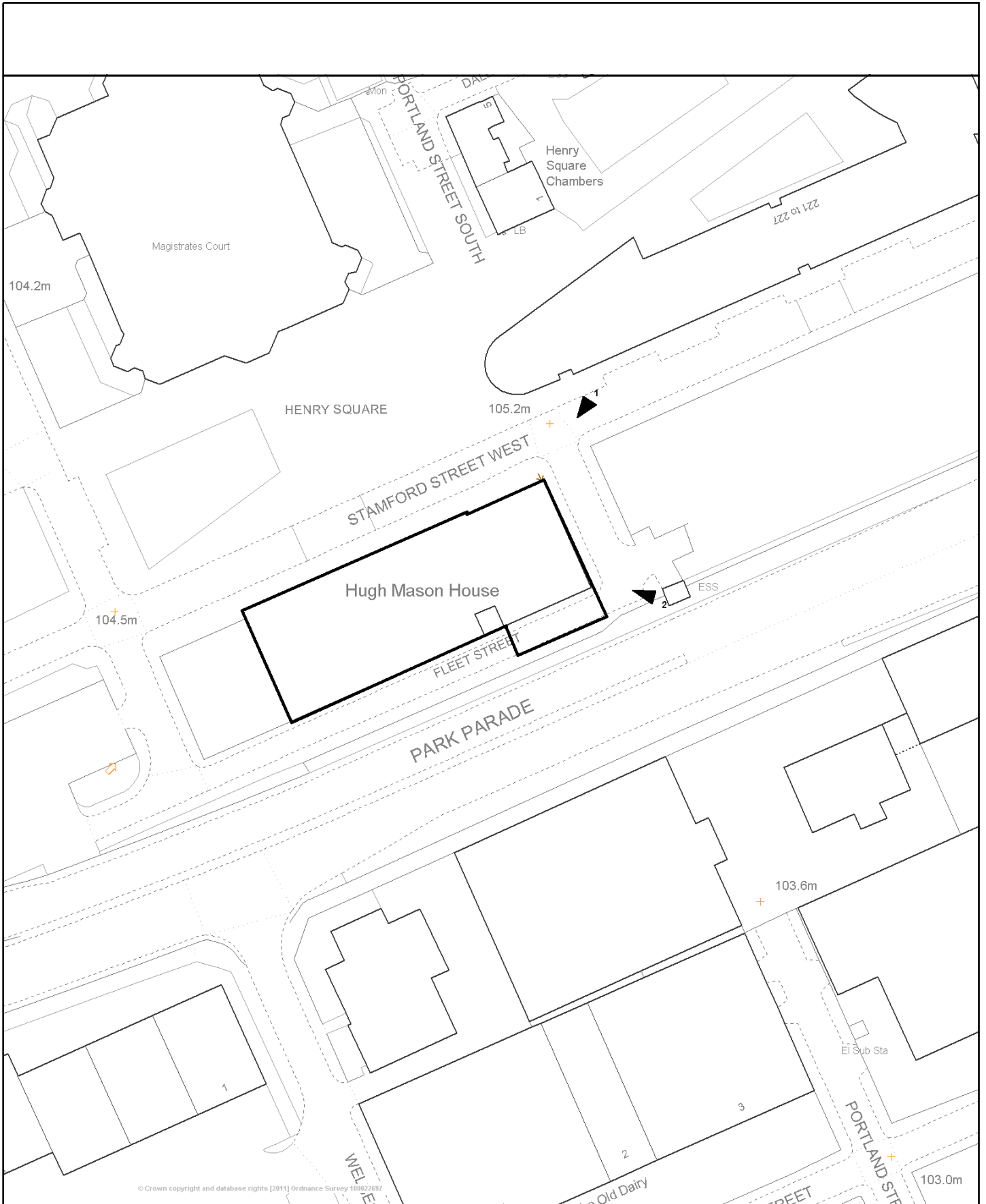
Client  
**TMBC**  
Project  
**Ashton (Old) Baths**  
Description  
**Phase 2 Annex**  
**Site Plan**

Status  
**LISTED BUILDING CONSENT**  
Scale 1:500 @ A1 Drawn SPC Date MAR 18  
Job number 1064 Drawing number 02-00-LBC Revision P2

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Scale 1/1000 Date 16/8/2018

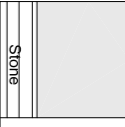
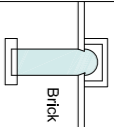
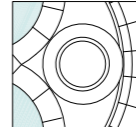
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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	2nd I - notes amended to show existing work and new proposed works	PJS	MAR 18

**KEY**

-  Roof was replaced on the previous Phase 1
-  Window and doors where repaired and replaced on the previous Phase 1
-  Bids and stonework to be amended and already for Phase 1. Refer to SLHA Schedule of Works for details

**NOTE:** Specialist Element Heritage Architects drawings and specifications for details of work on existing building

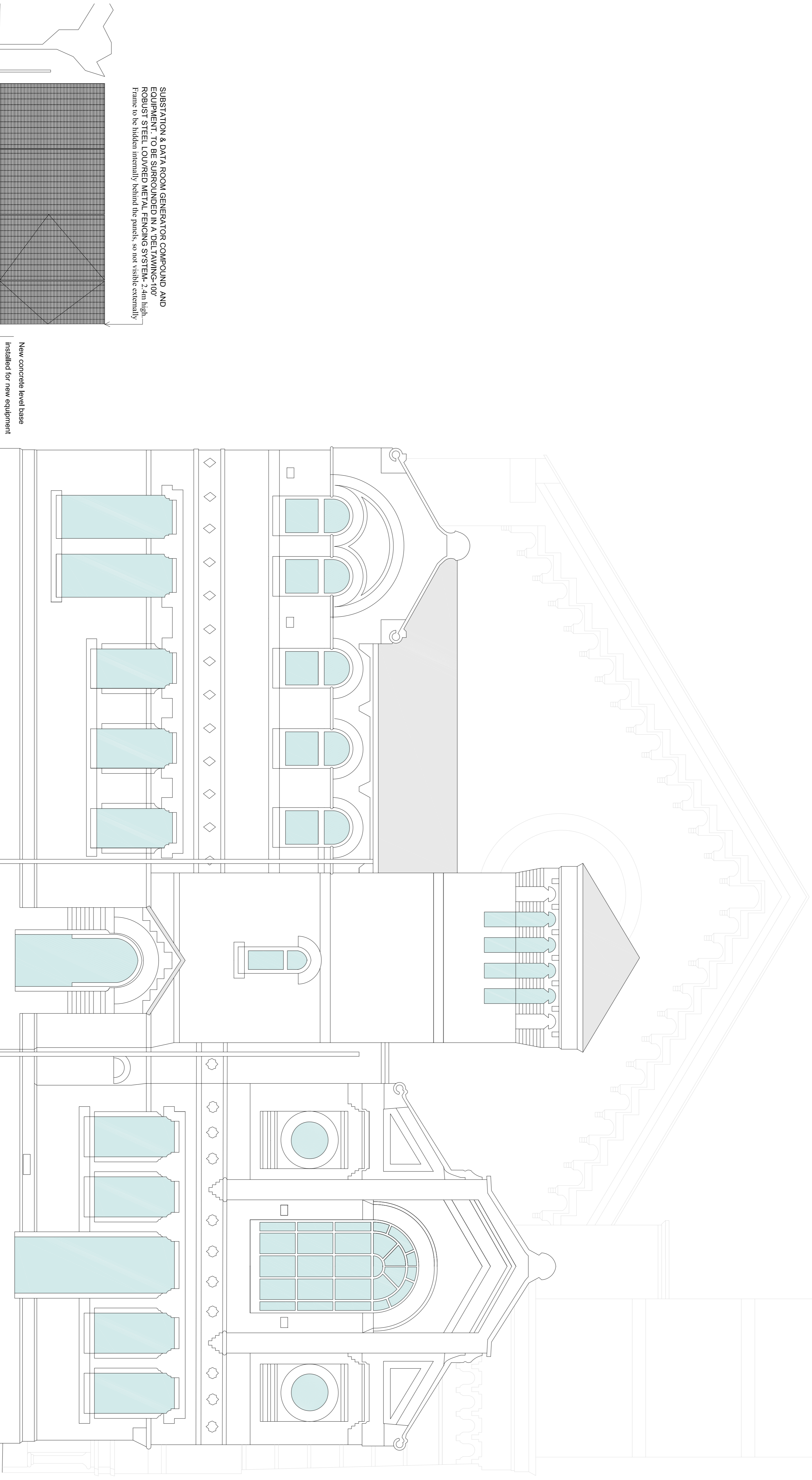
**Notes:**  
 -Elevations are shown for reference only.  
 -All work to the existing elevations should be complete.  
 -Some work to be carried out to doors in relation to ironmongery etc

**NOTE:**

In relation to architectural work these drawings are to be read in conjunction with other MCAU drawings and specifications and SLHA drawings and specifications.

**SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT TO BE SURROUNDED IN A DELTAWING-100' ROBUST STEEL LOUVRED METAL FENCING SYSTEM- 22mm louvre spacing, 100% visual screening, Horizontal Louvre flat bars 40 x 2 mm set at 45 degrees. Panels and posts are to be galvanizad and powder coated to any RAL colour to match the anthracite dark grey of the existing windows. Frame to be hidden internally behind the panels, so not visible externally**

- NOTE:**
- All relevant Architects drawings
  - All relevant sections of NBS (Any discrepancies between the drawings and specifications should be reported to the Architect prior to ordering and manufacture)
  - Structural Engineers drawings & specification.
  - Electrical Engineers drawings & specification.
  - Acoustic Engineers report.
  - Manufacturers drawings and specifications where applicable, and contributed in strict accordance with instructions and recommendations, Regulations and Relevant Standard Details produced by The House Builders Federation (where applicable).
  - Details are to be checked on site prior to manufacture or construction.
- Any material specification change must comply to the same level of performance in all aspects and be submitted for approval.



**SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT TO BE SURROUNDED IN A DELTAWING-100' ROBUST STEEL LOUVRED METAL FENCING SYSTEM- 24m high. Frame to be hidden internally behind the panels, so not visible externally**

New concrete level base installed for new equipment

**Proposed East Elevation 1:50**

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Client: **TMBC**

Project: **Ashton (Old) Baths**

Description: **Phase 2 Annex**  
**Proposed External Elevations**  
**Elevation 2 (East)**

Status: **LISTED BUILDING CONSENT**

Scale: 1:50 @ A1  
 Drawn: SPC/PJS  
 Job number: 1064

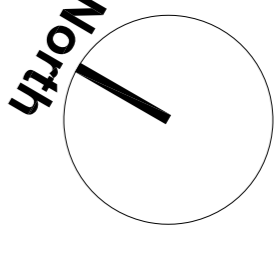
Date: MAR 18  
 Revision: P2

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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	Issues to incorporate end users comments	PJS	MAR 18
P3	External M&E Compound Issues updated	PJS	MAR 18



+105.42 Existing level  
+105.42 Proposed level

**SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT FOR ROBUST STEEL LOUVRED METAL FENCING SYSTEM-2mm lower spacing, 100% visual screening Horizontal 1 centre flat bars 40 x 2 mm set at 45 degrees. Panels and posts are to be galvanized and powder coated to any RAL colour to match the anthracite dark grey of the existing windows. Frame to be hidden internally behind the panels, so not visible externally.**

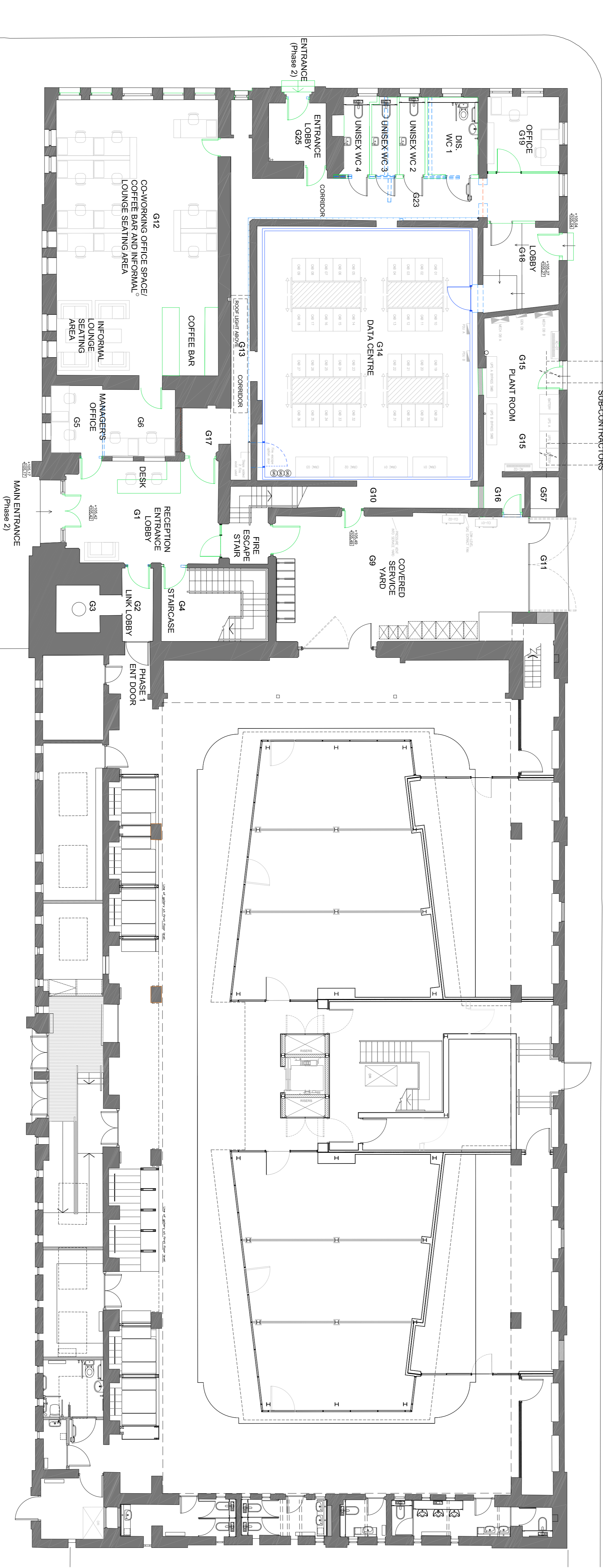
**NOTE:**

In relation to architectural work these drawings are to be read in conjunction with other M&AU drawings and specifications and SLHA drawings and specifications.

**NOTE:**  
 - Drawing should be read in conjunction with:-  
 - All relevant architects drawings  
 - All relevant sections of M&E (Any discrepancies between the drawings should be reported to the architect prior to ordering and manufacture)  
 - Structural Engineers drawings & specification.  
 - Electrical Engineers drawings & specification.  
 - Acoustic Engineers report.  
 - Manufacturers drawings and specifications where applicable and constructed in strict accordance with instructions and recommendations. Regulations and Robust Standard Details produced by The House Builders Federation (where applicable).  
 - Details to be checked on site prior to manufacture or construction.  
 Any material specification change must comply to the same level of performance in all respects and be submitted for approval.

**KEY**

- Existing walls to be retained
- Proposed demolition of existing masonry walls to be removed
- Proposed new intervention
- Proposed Data Centre as per separate Specialist Design & Cost
- Proposed steel beam / lintel
- Proposed furniture to be provided by Operator. Only shown as indicative



PHASE 2 - ANNEX-PROPOSED

STAMFORD STREET WEST

PHASE 1 - MAIN POOL HALL-EXISTING

Level 0G Plan 1:100

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Client: TMBC  
 Project: Ashton (Old) Baths  
 Description: Phase 2 Annex  
 Proposed Floor Plans  
 Level 0

Status: LISTED BUILDING CONSENT  
 Scale: 1:100 @ A1  
 Drawn: NBP/PJS  
 Job number: 203-00-LBC  
 Date: MAR 18  
 Revision: P3

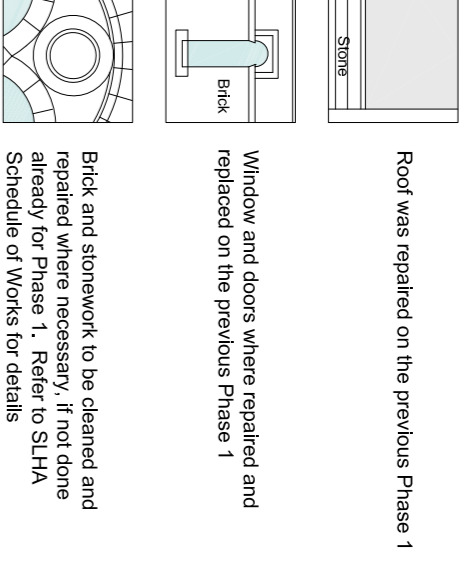
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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	2nd - notes amended to show existing work / rooflights related to roof and new proposed works	PJS	MAR 18

**KEY**



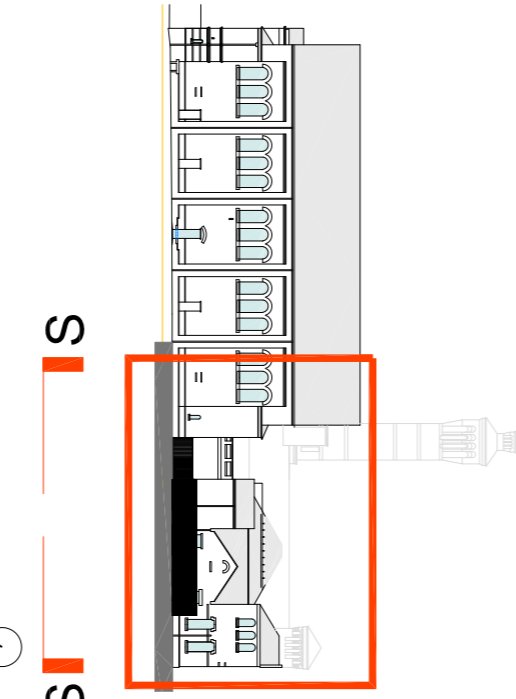
**NOTE:**  
Refer to Stephen Leman Heritage Architecture drawings and specification for details of work to the existing building

**Notes:**  
-Elevations are shown for reference only.  
-All work to the existing elevations should be complete.  
-Some work to be carried out to doors in relation to ironmongery etc

**SUBSTATION & DATA ROOM GENERATOR EQUIPMENT TO BE ROBUST SURROUND IN A DELTA FENCING SYSTEM**  
Steel cladding 100% with horizontal lap joint bays 40 x 2.2mm set at 45 degrees. Panels and posts are to be galvanized and powder coated to any RAL colour to match the anthracite dark grey of the existing windows. Frame to be hidden internally behind the panels, so not visible externally

**NOTE:**  
In relation to architectural work these drawings are to be read in conjunction with the following drawings and specifications and SLHA drawings and specifications.

- NOTE:**  
The drawings should be read in conjunction with:-
- All relevant sections of NBS (Any discrepancies between the drawings and NBS should be reported to the architect prior to ordering and
  - Structural Engineers drawings & specification.
  - Mechanical Engineers drawings & specification.
  - Fire engineers report, and specifications where applicable, and constructed in strict accordance with instructions and recommendations.
  - All construction work to be carried out in accordance with the Building Regulations (Where applicable).
  - All relevant work to be checked on site prior to construction.
- Any method specifications change must comply to the same level of performance in all respects and be submitted for approval.



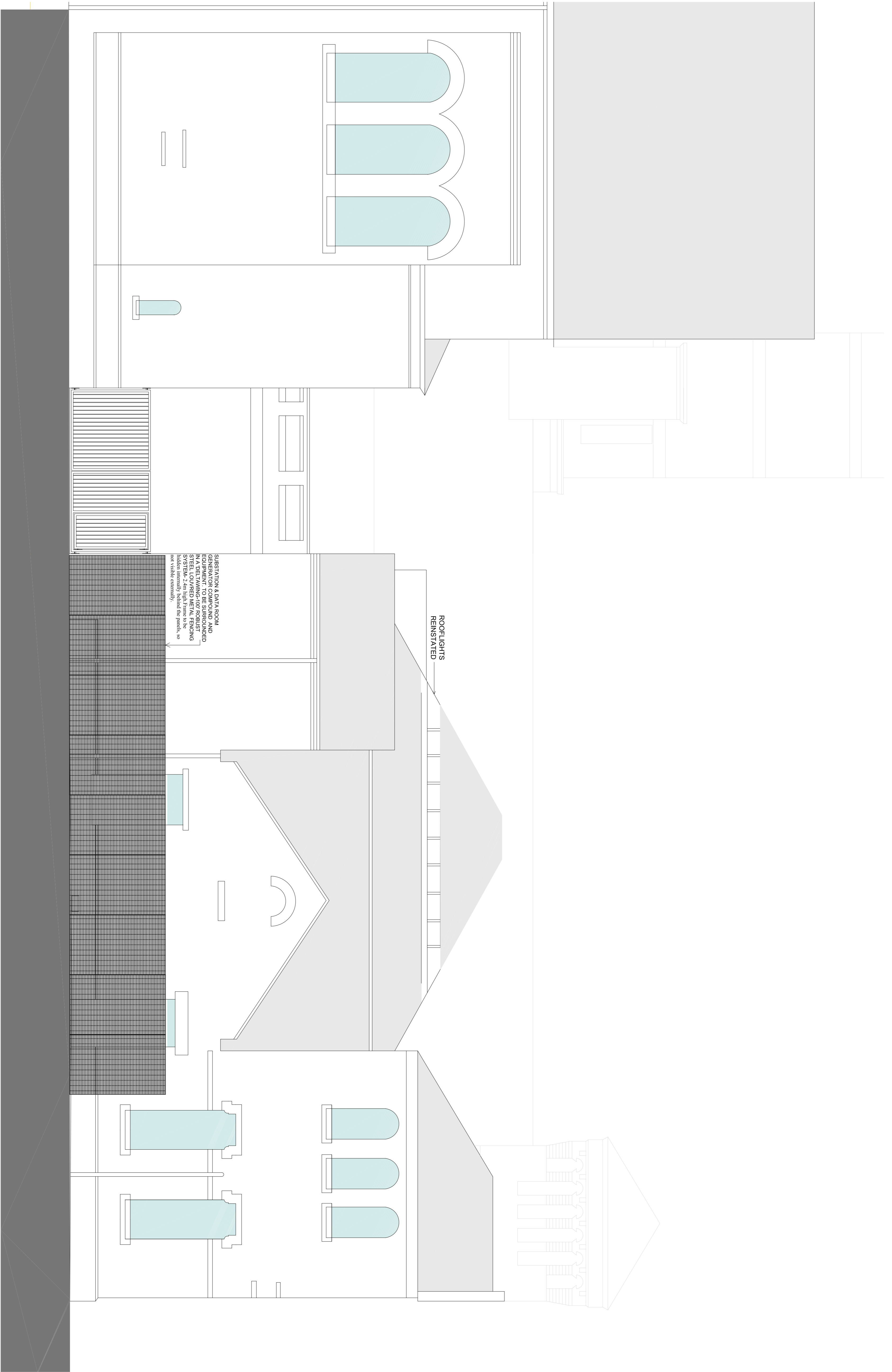
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Client: **TMBC**  
Project: **Ashton (Old) Baths**  
Description: **Phase 2 Annex**  
**Proposed External Elevations**  
**Elevation 3 (South)**

Status: **LISTED BUILDING CONSENT**  
Scale: **1:50 @ A1**  
Date: **MAR 18**  
Drawn: **SPC/PJS**  
Checked: **SPC/PJS**  
Drawing number: **205-103-LBC**  
Revision: **P2**



Proposed South Elevation 1:50

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Application Number: 18/00278/FUL

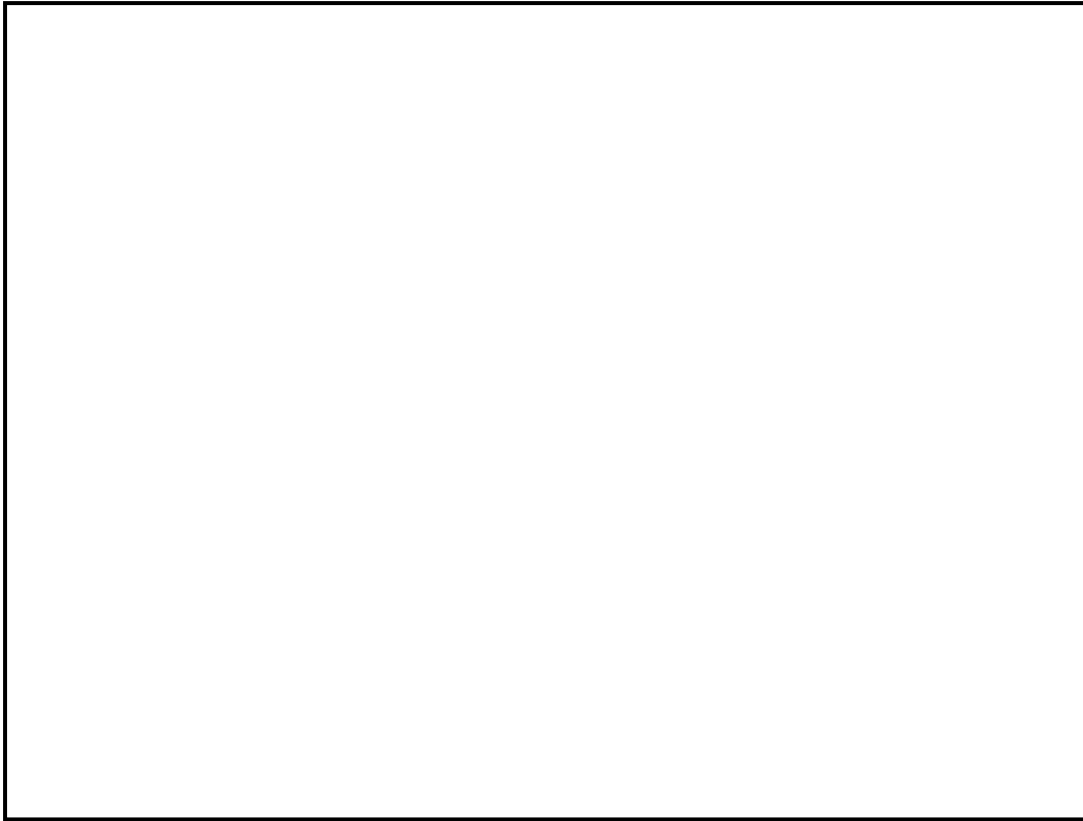
Photo 1



Photo 2



**Photo 3**



**Photo 4**





**Application Number** 18/00321/LBC

**Proposal** Internal works, repairs, restoration and alterations of the Ashton Old Baths-Phase 3 Annex including new contemporary office accommodation (B1), coffee shop (A3) and a new internal Data centre (sui generis)

**Site** Ashton Old Baths, Stamford Street West, Ashton

**Applicant** TMBC

**Recommendation** Approve, subject to conditions,

**Reason for report** The application is presented to the Panel so that members have a complete picture of the current proposals at Ashton Old Baths.

## REPORT

### 1. APPLICATION DESCRIPTION

1.1 The application is one of three concurrent applications appertaining to Ashton Old Baths and seeks listed building consent for internal works that are designed to facilitate the proposed change of use of what is known as the eastern annexe of the building to accommodate offices (use class B1), a coffee shop (use class A3) and a new internal data centre (sui generis use).

1.2 The proposed data centre is intended to host council, NHS and commercial computer systems in a controlled environment and comprise a single-storey, modular room within the annexe.

1.3 The application is accompanied by a Heritage Statement: Significance and Impact.

1.4 The concurrent applications are:

ref. 18/00194/FUL, seeking full planning permission for the change of use of section of Fleet Street from highway to service yard, including the installation of a 2.4m high metal louvred fence; and,

ref. 18/00278/FUL, seeking full planning permission for the change of use of what is known as the eastern annexe of the building to accommodate offices (use class B1), a coffee shop (use class A3) and a new internal data centre (sui generis use with supporting sub-station and generator).

### 2. SITE & SURROUNDINGS

2.1 Located on the south side of Henry Square, Ashton Old Baths is a grade II\* listed building situated in the town centre conservation area and is at the heart of the St Petersfield redevelopment scheme. The building sits on an island site bounded by Stamford Street West to the north, Fleet Street to the east and south, and Welbeck Street to the west. The A635 Park Parade town centre by-pass is situated parallel with Fleet Street to the south.

2.2 The building comprises the main former pool hall that now accommodates a free-standing office pod, and ancillary facilities (see paragraph 3.3) and an annexe on the eastern side that remains vacant and accommodated originally a smaller swimming bath for women and a number of private (slipper) baths together with the Turkish and hot air baths.

### **3. PLANNING HISTORY**

3.1 In order to address the decline of the area known now as St Petersfield, and the Old Baths, which is the landmark building, outline planning permission (ref. 02/01443/OUT) was granted initially in May 2003 for the comprehensive redevelopment of the area, and again, with some modifications (ref. 04/00040/OUT), in May 2004. The proposal was that the redevelopment would include a mix of uses, but primarily business uses, with an element of residential use, and ancillary retail uses so as to provide a new business quarter for the town. A Masterplan included with these applications envisaged the Old Baths having the potential to accommodate either an hotel or a business centre.

3.2 Prior to the evolution of the St Petersfield scheme, planning permission (ref. 80/00119/FUL) was granted to use the Old Baths for light industrial and storage accommodation. Confirmation of the lawfulness of the use of the building for light industrial, or business, use was issued (ref. 14/00381/CLUD) in May 2014.

3.3 More recently and significantly, in accordance with the authorized use of the building, listed building consent (ref. 14/00575/LBC) allowed for:

Phase 1 works, comprising external and internal works, repairs, and alterations to the former main pool hall including the erection of an internal free-standing structure; and,

Phase 2 works, comprising essential works to secure repairs to and the structural integrity of the remaining parts of the building.

3.4 The current applications comprise Phase 3 works to the building.

### **4. RELEVANT PLANNING POLICIES**

4.1 **Tameside Unitary Development Plan (UDP) Allocation**  
Allocated Development Opportunity Area within Ashton town centre conservation area

#### **4.2 Part 1 Policies**

1.11: Conserving Built Heritage and Retaining Local Identity

#### **4.3 Part 2 Policies**

C5: Alternative Uses, Alterations and Additions for Listed Buildings.

#### **4.4 Other Policies**

It is not considered there are any local finance considerations that are material to the application.

#### **4.5 National Planning Policy Framework (NPPF)**

Section 16 Conserving and enhancing the historic environment

#### **4.6 Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning

Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

## **5. PUBLICITY CARRIED OUT**

- 5.1 The application has been advertised by means of neighbour notification letters dispatched on 9 May 2018 to 8 addresses in Portland Street South, Old Street, Stamford Street West, Welbeck Street South and Bentinck Street, and with a notice being posted at the site on 15 May 2018.

## **6. RESPONSES FROM CONSULTEES**

- 6.1 Historic England support the re-use of the building and defer consideration of the application to the local planning authority.

## **7. SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

- 7.1 No responses have been received.

## **8. ANALYSIS**

- 8.1 Ashton Old Baths is grade II\* listed. The Planning (Listed Buildings and Conservation Areas) Act 1990 states that the primary duty of the local planning authority in relation to listed buildings is to have special regard to the desirability of preserving the building, its setting and any features of special architectural or historic interest which it possesses.
- 8.2 The Old Baths had been derelict and in poor condition following closure of the pools in the late 1970s resulting in the building's inclusion within the English Heritage, Heritage at Risk Register – North West. Emergency works to make the building weather tight were undertaken in 2008 and following the successful implementation of Phase 1 and 2 works (see paragraph 3.3) the building was removed from the Heritage at Risk Register in 2017. The interior of the Annexe was not addressed at part of the Phase 1 and 2 works and consequently remains vacant.
- 8.3 The current proposals retain the original form and layout of the Annexe. Proposed works are to facilitate the change of use and rationalise and reconfigure the internal space and allow for natural daylight, including the removal of partition walls, which are not original features of the building, on both the ground and first floors.
- 8.4 Paragraph 196 of the NPPF states that: Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use.
- 8.5 It is considered that the proposals respect the elements of the building that are of most significance and that are identified in the submitted Heritage Statement. These parts or elements of the building are deemed to be of particularly special interest and are fundamental to the understanding of the architectural design and play a major role in reflecting the historic and aesthetic value of the building. Examples of these elements, which would be retained or reinstated, are the existing lobby entrance, tiled women's baths room, roof lights, the cast iron

roof structure to the first floor, coved first floor ceilings, glazed tile walls and internal plan arrangement.

- 8.6 Given the above, for the purposes of assessment against the NPPF, it is considered that the proposals would lead to less than substantial harm to the significance of the listed building as a heritage asset and that this harm would be majorly out-weighed by the public benefits that would accrue in securing an optimum, viable and sustainable new use for the remainder of the listed building. These benefits would not only be that the active use of the Annexe would result in its future maintenance, and thus the enhancement of both its appearance and the conservation area in which it is set but also, in building on the success of the completed Phase 1 and 2 works, act as a catalyst for further town centre investment. The proposals are therefore considered acceptable and compliant with Section 16 of the NPPF and policies 1.11 and C5.

## RECOMMENDATION

Grant listed building consent subject to the following conditions:

1. The works hereby permitted must begin not later than the expiration of three years beginning with the date of this permission.
2. The works hereby permitted shall be carried out in accordance with the following approved plans and document refs:

SSL 7603:100:1:4  
SSL 7603:100:2:4  
SSL 7603:100:3:4 1 1  
SSL 7603:100:4:4  
SSL 7603A:100:1:1:ELV  
1064-201-00-LBC P1  
1064-02-00-LBC P2  
1064-02-01-LBC P2  
1064-203-00-LBC P4  
1064-203-01-LBC P3  
1064-203-02-LBC P2  
1064-203-03-LBC P2  
1064-204-01-LBC P3  
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1064-205-101-LBC P2  
1064-205-102-LBC P3  
1064-205-103-LBC P3  
1064-231-00-LBC P2  
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1064-1807-00 P1

1064-1807-01 P1

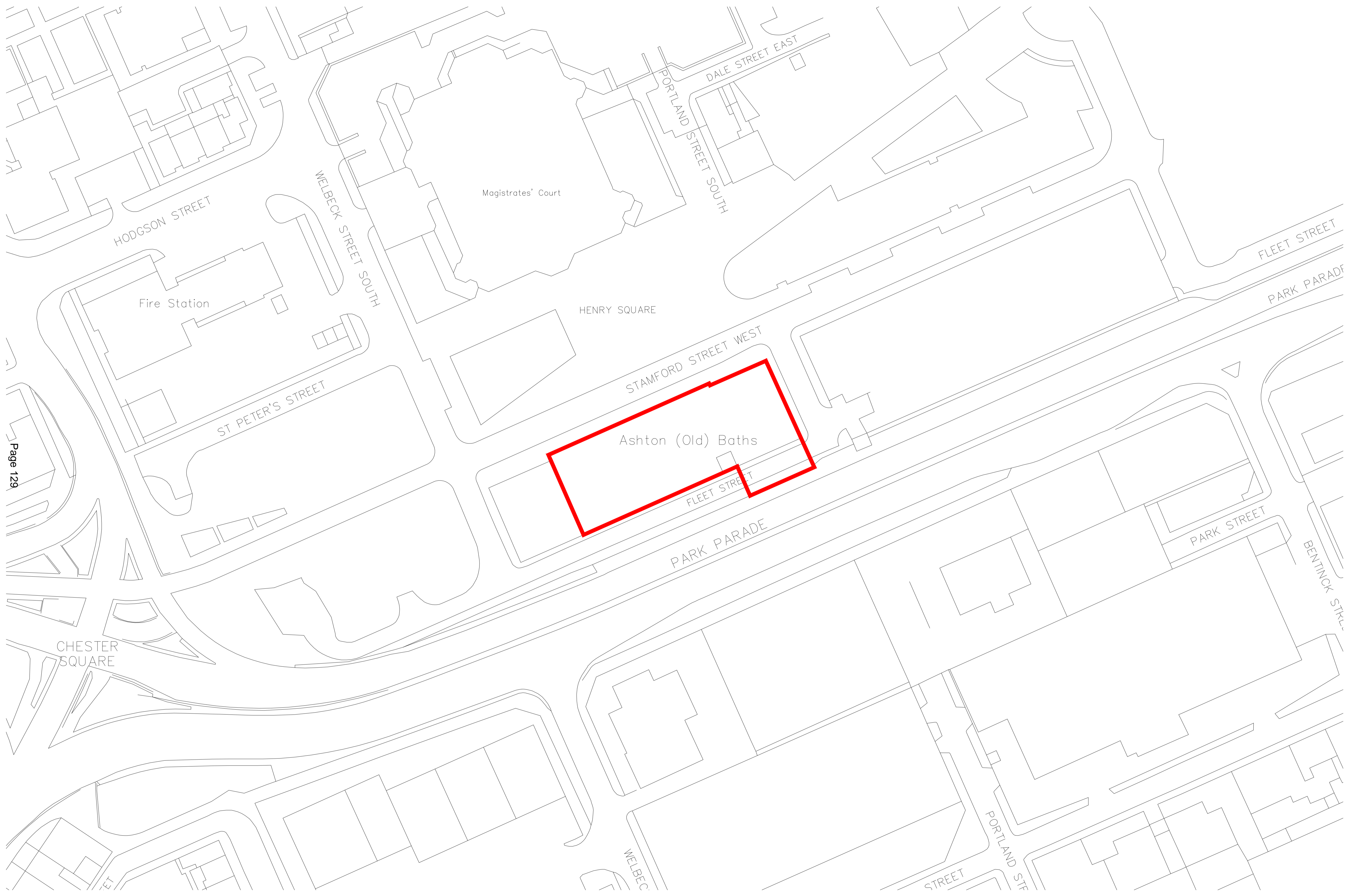
Heritage Statement: Significance and Impact

- 3 Prior to installation full details or specification of the rooflights to be reinstated, as illustrated on plans ref. 1064 203 LBC P2, 1064 204 01 LBC P2 and 1064 205 103 LBC, shall be submitted to, and be approved in writing by the local planning authority. The works shall be carried out in accordance with such approval.
- 4 Prior to installation full details or specification of the new window openings to be installed in rooms G5, G6 and F3, as illustrated on plans ref. 1064 203 00 LBC P4 and 1064 205 01 LBC P3, shall be submitted to, and be approved in writing by the local planning authority. The works shall be carried out in accordance with such approval.
- 5 Prior to installation full details or specification of any mechanical and electrical services plant, referred to in the Heritage Statement: Significance and Impact, including any pipe work/flues/extractor fans shall be submitted to, and be approved in writing by the local planning authority. The works shall be carried out in accordance with such approval.

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Rev	Description	By	Date
P1	First Issue	FJS	MAR 18
P2	Site boundary tweaked to suit planning	FJS	AUG 18

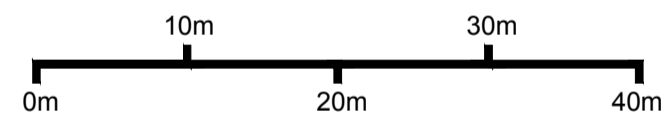


Page 129

Site plan 1:500

**KEY**

 Site boundary



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Eastgate  
2 Castle Street  
Castlefield  
Manchester  
M3 4LZ

Client  
**TMBC**

Project  
**Ashton (Old) Baths**

Description  
**Phase 2 Annex**

**Site Plan**

Status  
**LISTED BUILDING CONSENT**

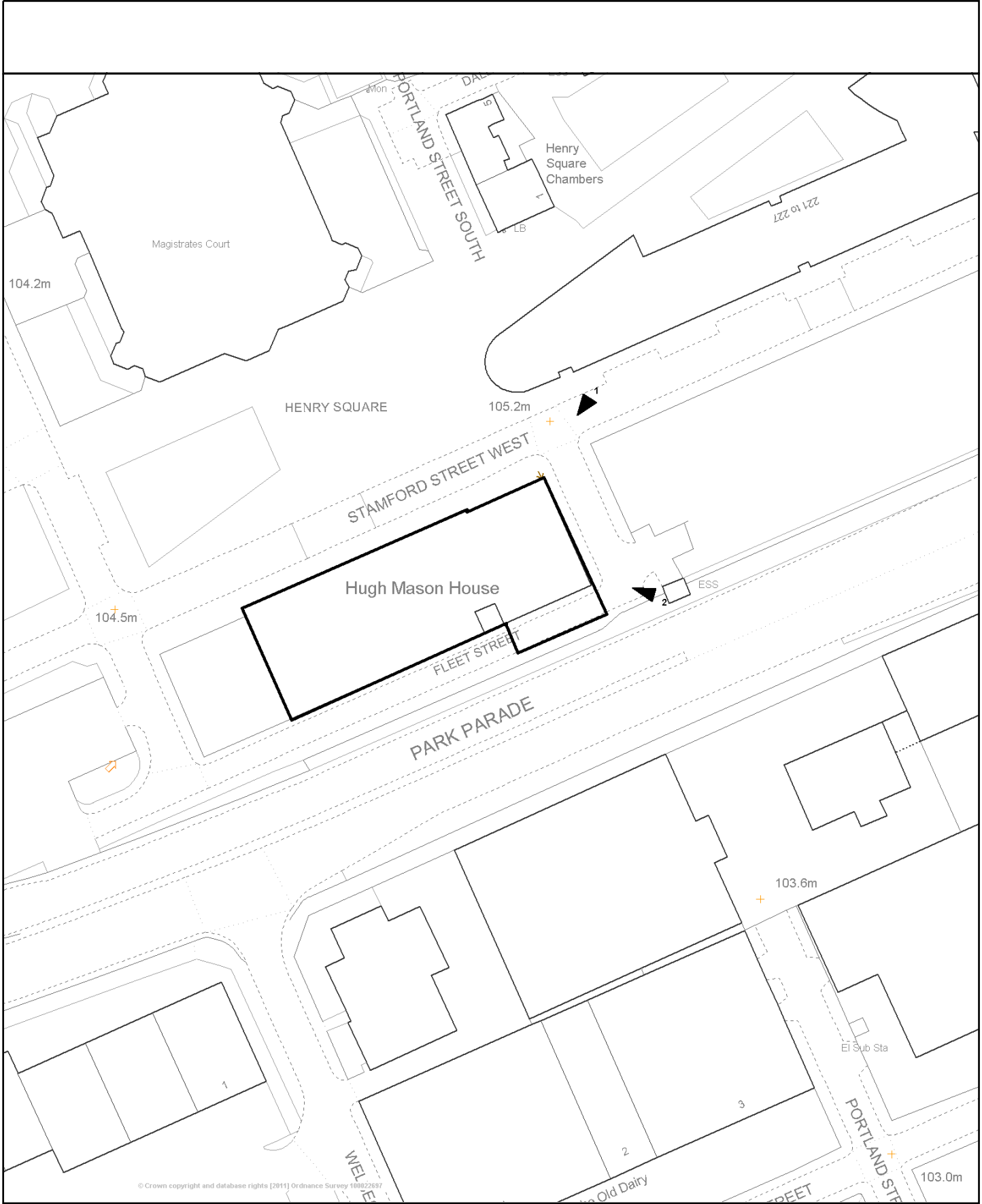
Scale 1:500 @ A1 Drawn SPC Date MAR 18

Job number 1064 Drawing number 02-00-LBC Revision P2

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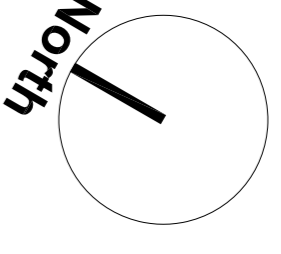
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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	Issues to incorporate end users comments	PJS	MAR 18
P3	External M&E Compound Issues updated	PJS	MAR 18



+105.42 Existing level  
+105.42 Proposed level

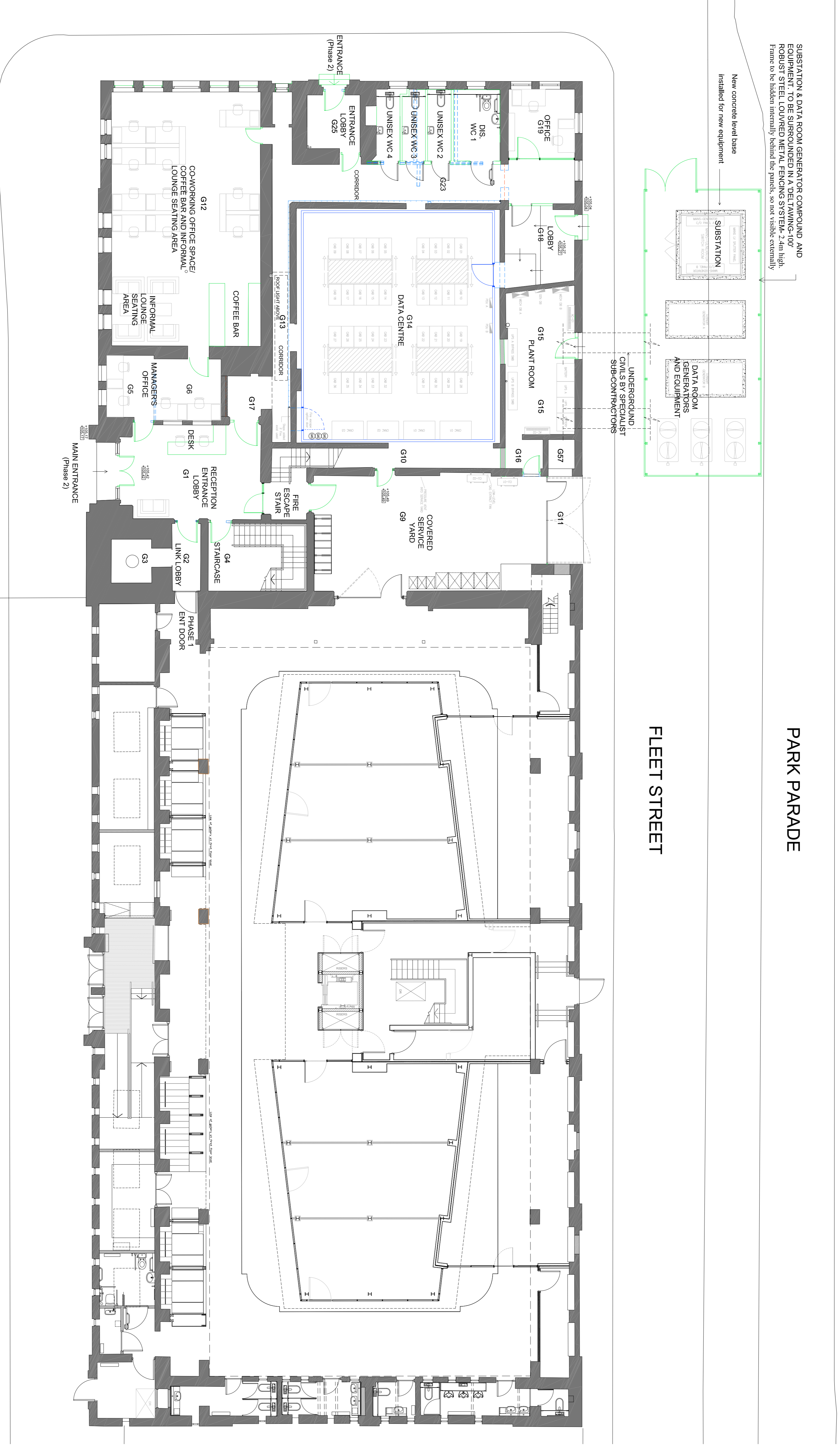
**SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT**  
 SUBSTATION  
 DATA ROOM GENERATORS AND EQUIPMENT  
 UNDERGROUND CIVILS BY SPECIALIST SUB-CONTRACTORS

**NOTE:**  
 In relation to architectural work these drawings are to be read in conjunction with other M&AU drawings and specifications and SLHA drawings and specifications.

**NOTE:**  
 Drawing should be read in conjunction with:-  
 - All relevant Architects drawings  
 - All relevant sections of M&E (Any discrepancies between the drawings should be reported to the Architect prior to ordering and manufacture)  
 - Structural Engineers drawings & specification.  
 - Electrical Engineers drawings & specification.  
 - Acoustic Engineers report.  
 - Manufacturers drawings and specifications where applicable and constructed in strict accordance with instructions and recommendations. Regulations and Robust Standard Details produced by The House Builders Federation (where applicable).  
 - Specialist Design & Cost  
 - To be checked on site prior to manufacture or construction.  
 Any material specification change must comply to the same level of performance in all respects and be submitted for approval.

**KEY**

- Existing walls to be retained
- Proposed demolition of existing masonry walls to be removed
- Proposed new intervention
- Proposed Data Centre as per separate Specialist Design & Cost
- Proposed steel beam / lintel
- Proposed furniture to be provided by Operator. Only shown as indicative



PHASE 2 - ANNEX-PROPOSED

STAMFORD STREET WEST

PHASE 1 - MAIN POOL HALL-EXISTING

Level 0G Plan 1:100

**M&AU**  
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 Architecture & Urbanism

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 T: 0151 974 7203  
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 WWW.MCAU.CO.UK

Client: TMBC  
 Project: Ashton (Old) Baths  
 Description: Phase 2 Annex  
 Proposed Floor Plans  
 Level 0

Status: LISTED BUILDING CONSENT

Scale: 1:100 @ A1  
 Drawn: NBP/PJS  
 Date: MAR 18

Job number: 1064  
 Drawing number: 203-00-LBC  
 Revision: P3

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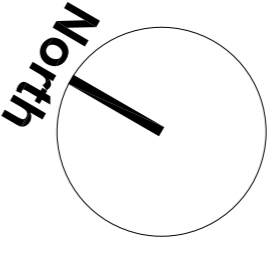
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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	Comments from the end user added	PJS	MAR 18

PARK PARADE

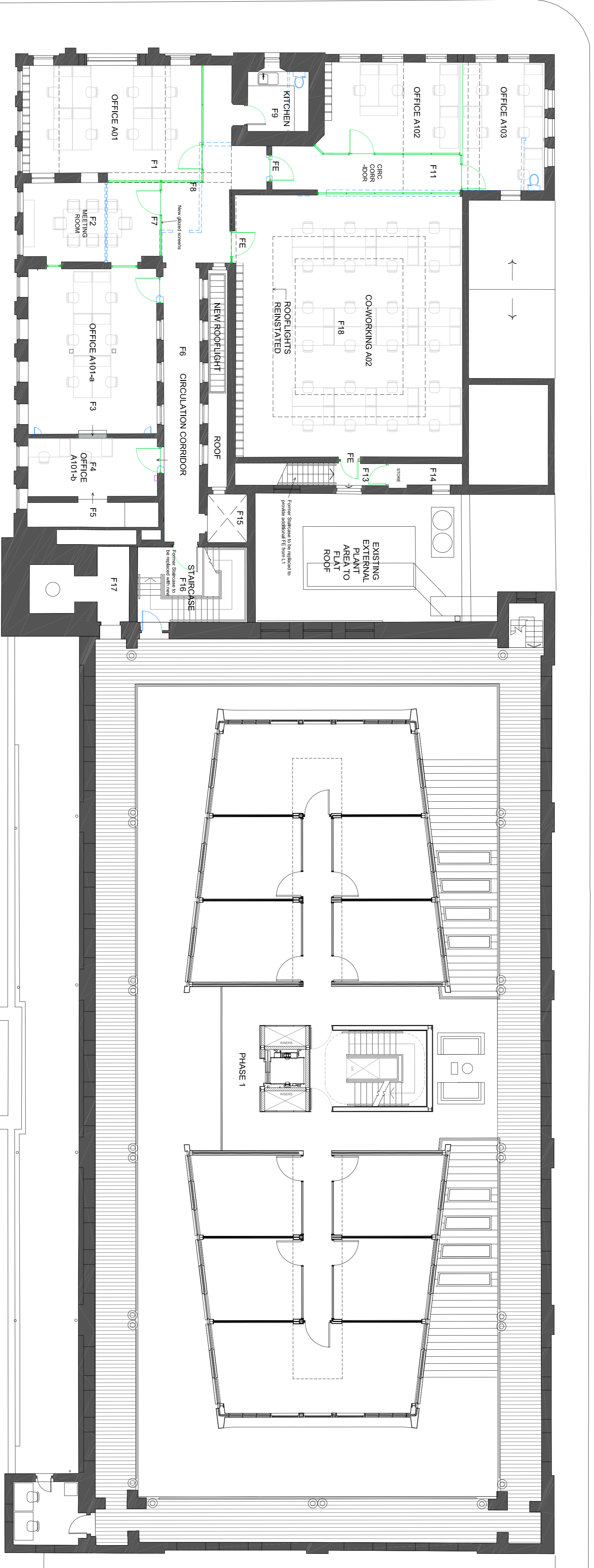
FLEET STREET



**NOTE:**

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PHASE 2 - ANNEX-PROPOSED

STAMFORD STREET WEST

PHASE 1 - MAIN POOL HALL-EXISTING

Level 01 Plan 1:100

KEY	
	Existing walls to be retained
	Proposed demolition of existing masonry walls to be removed
	Proposed new intervention
	Proposed Data Centre as per separate Specialist Design & Cost
	Proposed steel beam / lintel
	Proposed furniture to be provided by Operator. Only shown as indicative

**MCAU**  
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 Architecture & Urbanism

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Client  
**TMBC**

Project  
 Ashton (Old) Baths

Description  
 Phase 2 Annex  
 Proposed Floor Plans  
 Level 1

Status  
**LISTED BUILDING CONSENT**

Scale  
 1:100 @ A1

Drawn  
 NB/PJS

Date  
 MAR 18

Job number  
 1064

Drawing number  
 203-01-LBC

Revision  
 P2

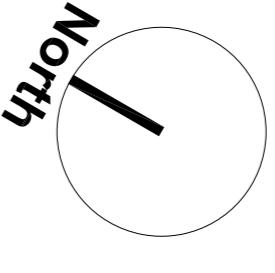
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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18

PARK PARADE

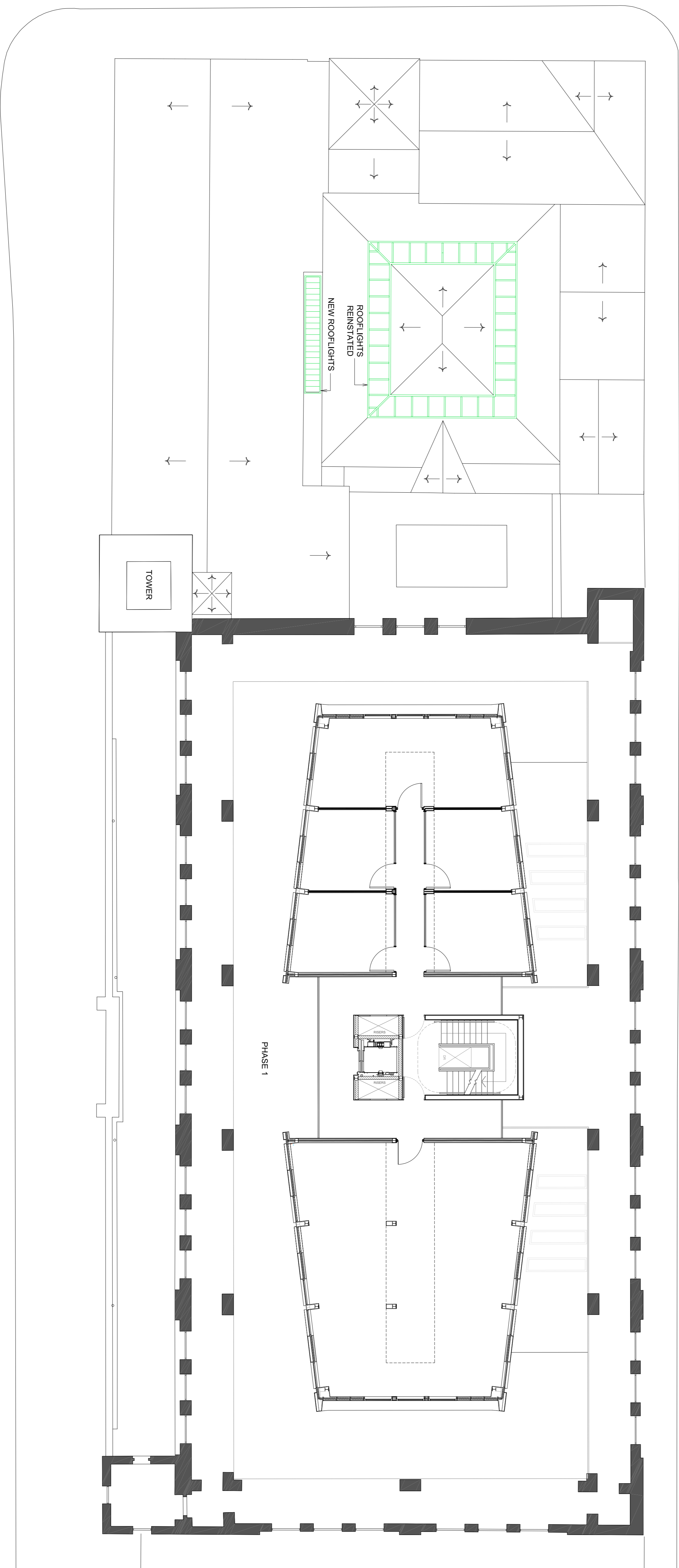
FLEET STREET



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- Mechanical Engineers drawings & specification.  
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KEY	
	Existing walls to be retained
	Proposed demolition of existing masonry walls to be removed
	Proposed new intervention / new Rooflights
	Proposed Data Centre as per separate Specialist Design & Cost
	Proposed steel beam / lintel
	Proposed furniture to be provided by Operator. Only shown as indicative

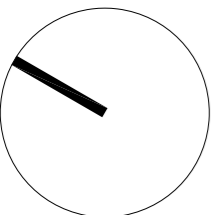


PHASE 2 - ANNEX-PROPOSED

STAMFORD STREET WEST

PHASE 1 - MAIN POOL HALL-EXISTING

Level 02 Plan 1:100



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Client  
TMBC  
Project  
Ashton (Old) Baths  
Description  
Phase 2 Annex  
Proposed Floor Plans  
Level 02 Roof Plan

Status  
LISTED BUILDING CONSENT

Scale  
1:100 @ A1  
Job number  
1064

Drawn  
NB/PJS  
Drawing number  
203-02-LBC  
P1

Date  
MAR 18  
Revision

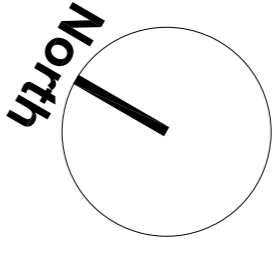


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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18

PARK PARADE

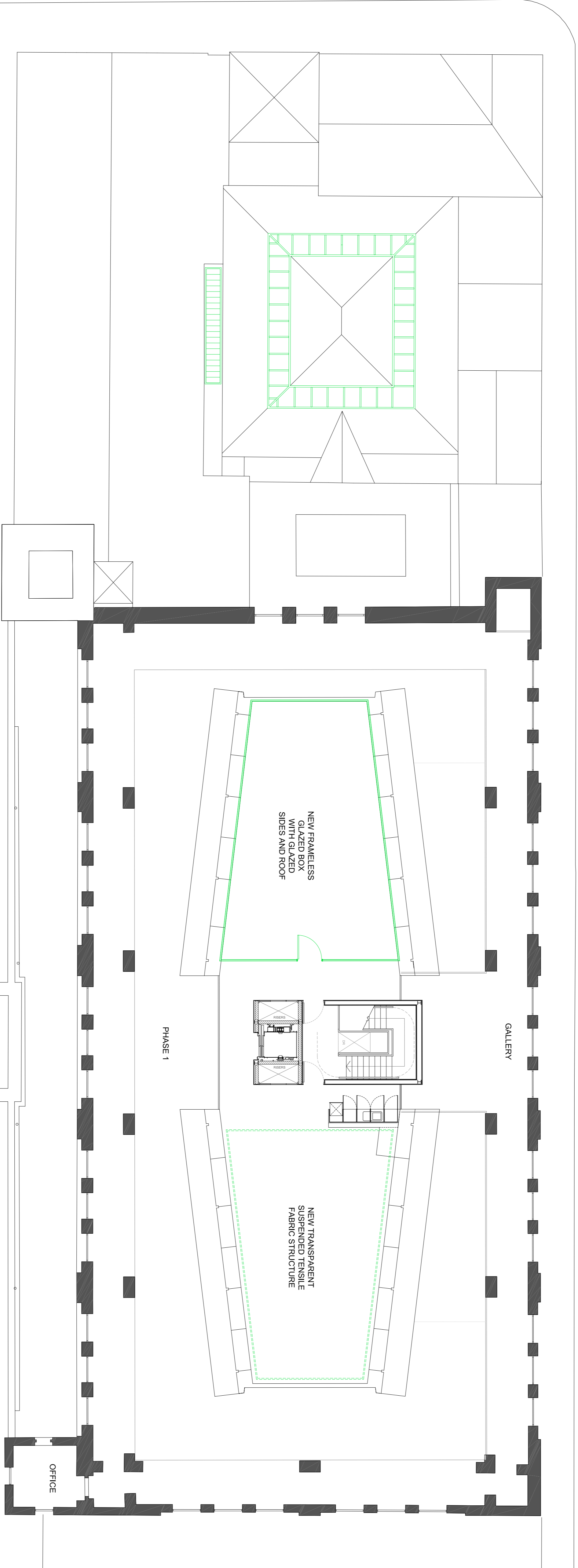
FLEET STREET



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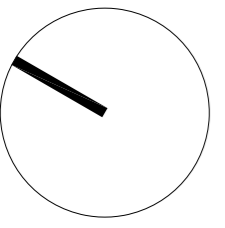


PHASE 2 - ANNEX-PROPOSED

STAMFORD STREET WEST

PHASE 1 - MAIN POOL HALL-PROPOSED

Level 03 Plan 1:100



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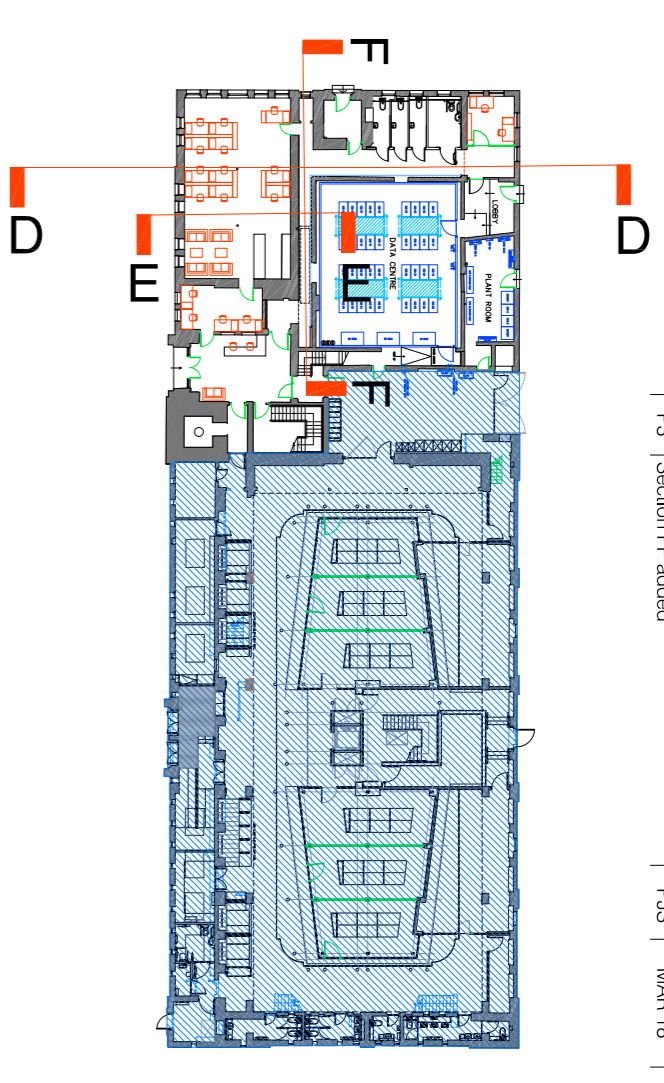
Client  
TMBC  
Project  
Ashton (Old) Baths  
Description  
Phase 2 Annex  
Proposed Floor Plans  
Level 03 Plan

STATUS  
LISTED BUILDING CONSENT

Scale  
1:100 @ A1  
1064  
Drawn  
NB/PJS  
203-03-LBC  
Date  
MAR 18  
Revision  
P1

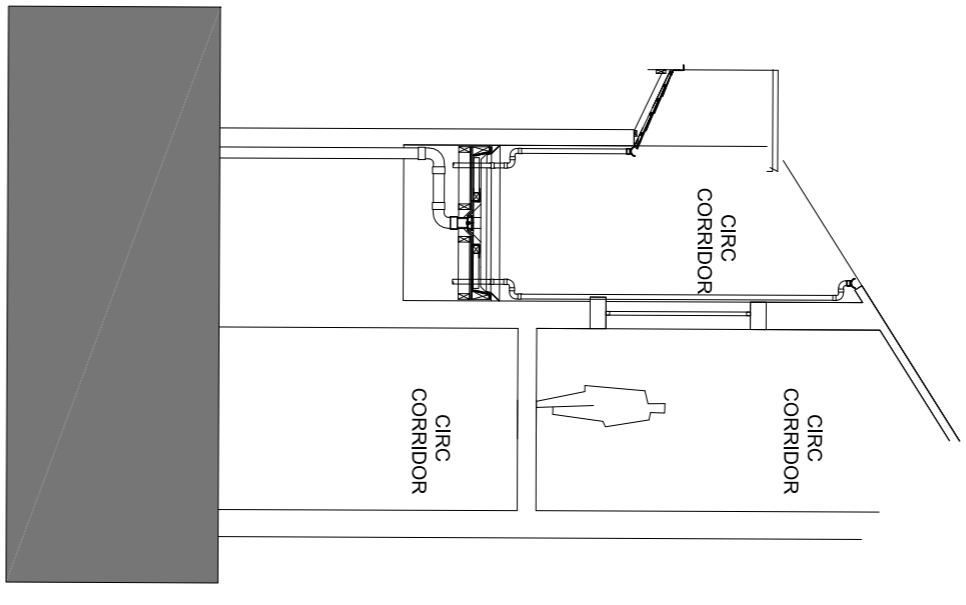
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Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	Sections developed further with notes	PJS	MAR 18
P3	Section FF added	PJS	MAR 18

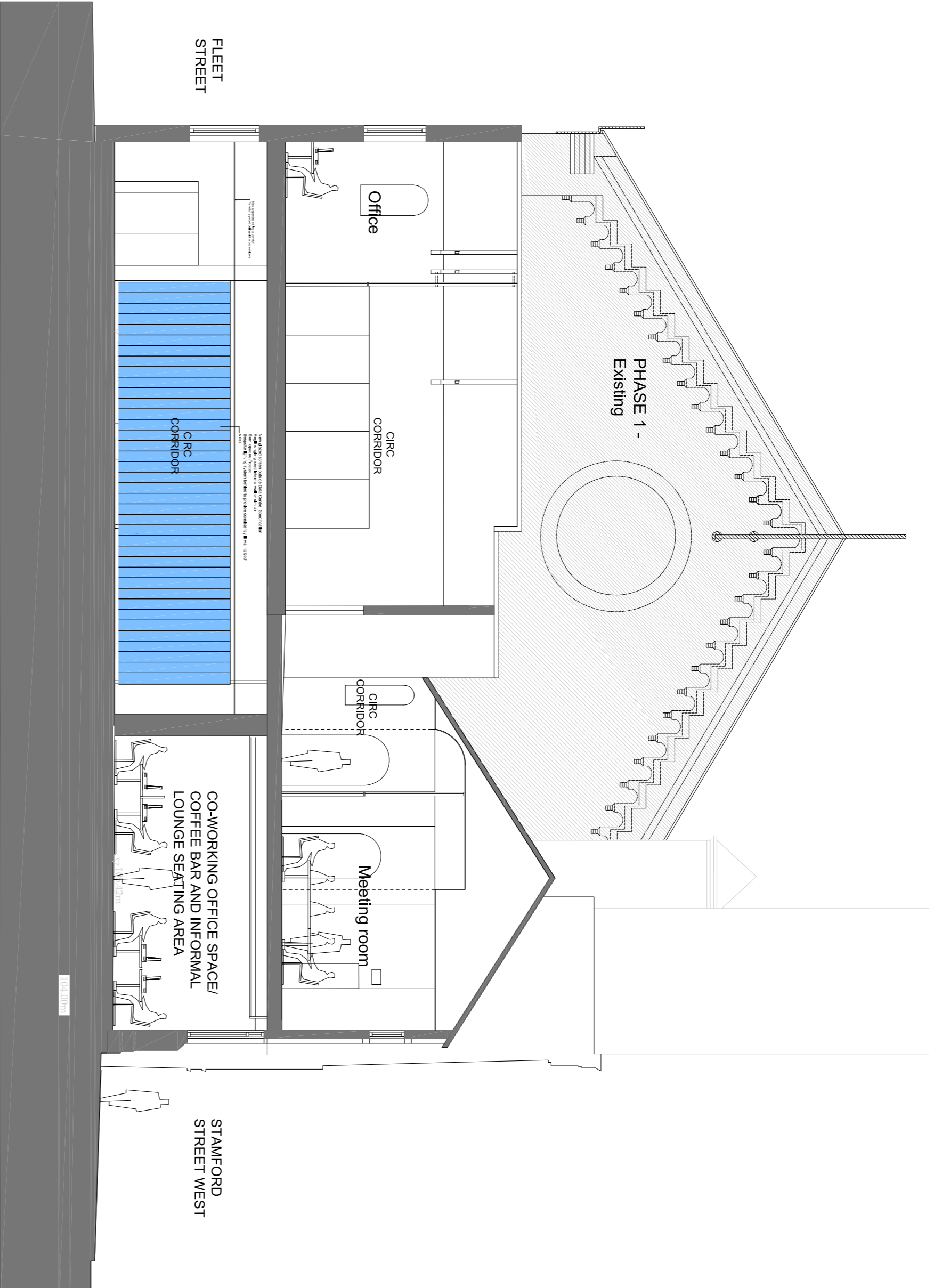


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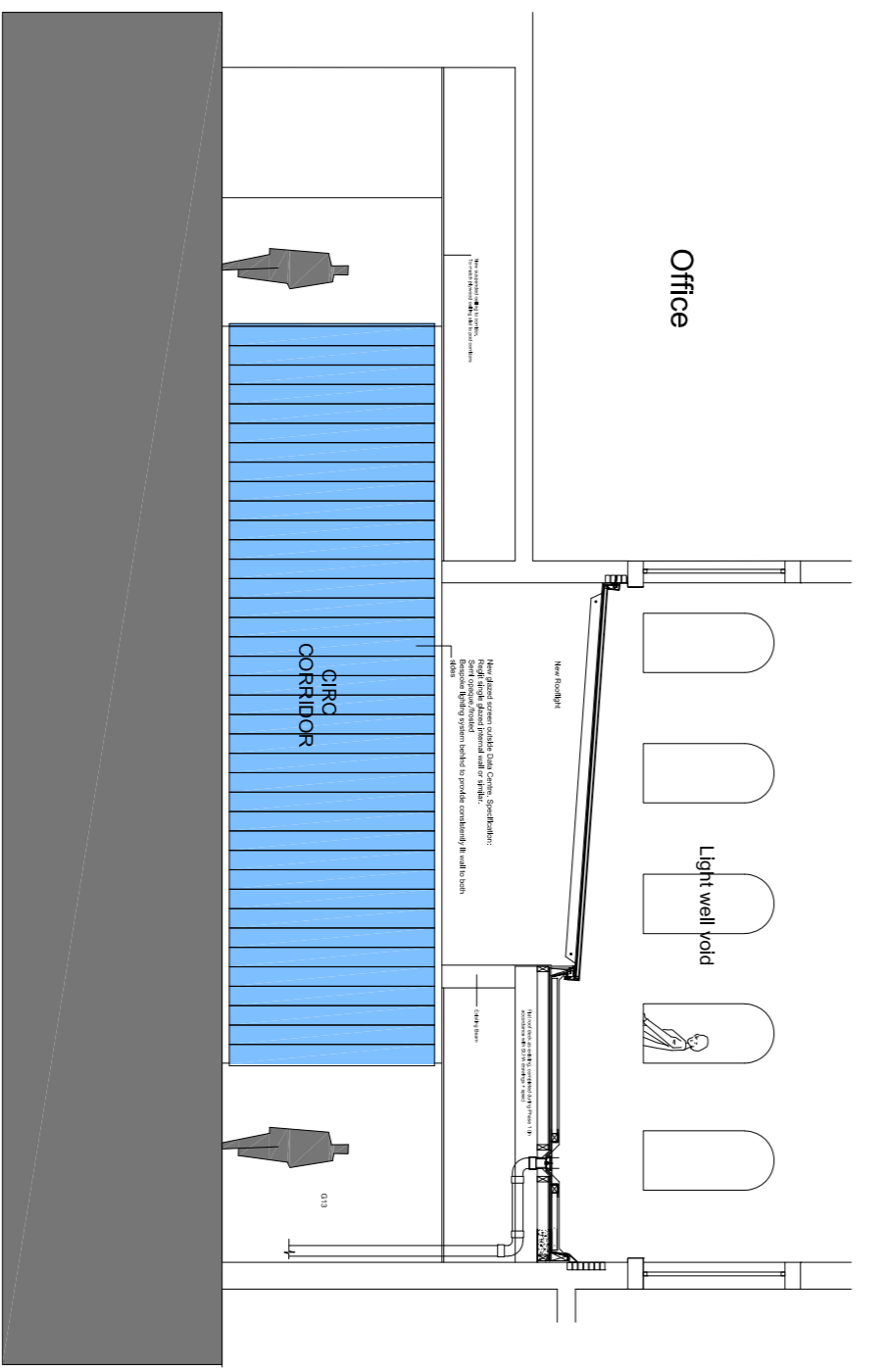


Proposed Detailed section EE 1:100



Proposed section DD 1:100

PHASE 2 - ANNEX-PROPOSED



Proposed section FF 1:100

PHASE 2 - ANNEX-PROPOSED

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www.mcau.co.uk

Client: TMBC  
Project: Ashton (Old) Baths  
Description: Phase 2 Annex  
Proposed Sections  
Sections A-A-BB-CC

---

Status: LISTED BUILDING CONSENT

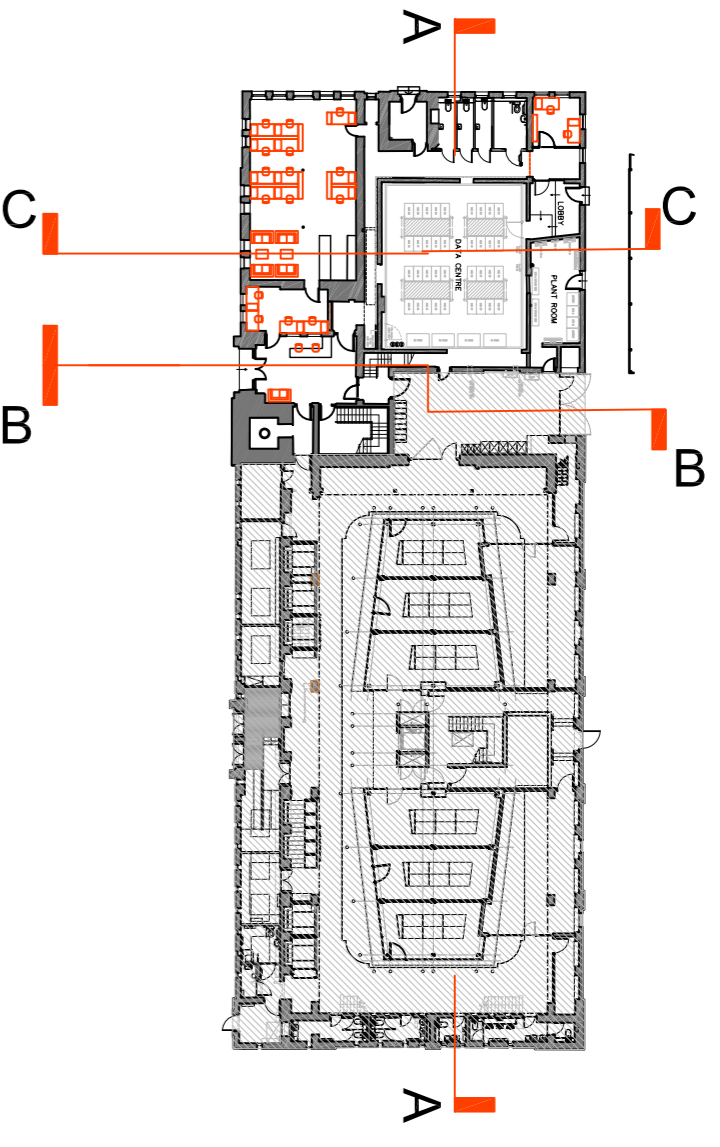
Scale: 1:100 @ A1	Drawn: SPC/PJS	Date: MAR 18
Job number: 1064	Drawing number: 204-01-LBC	Revision: P3

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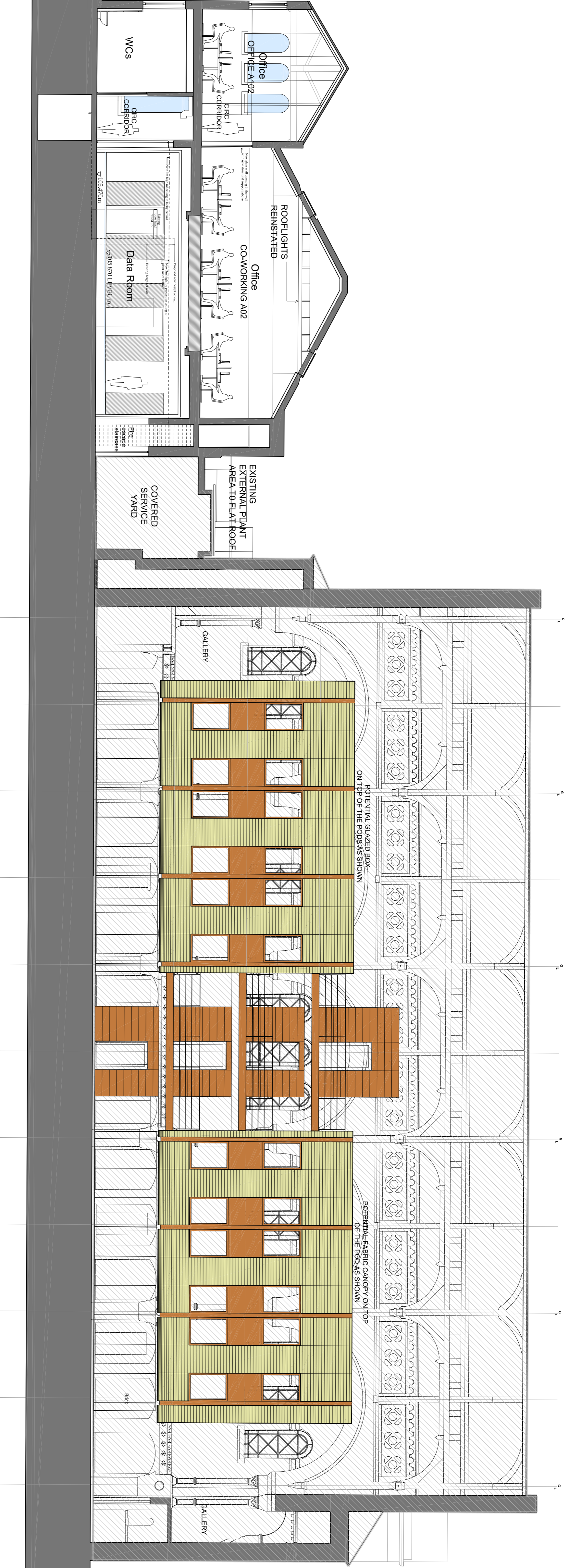


Rev	Description	By	Date
P1	Preliminary Issue	PJS	MAR 18
P2	Sections developed further with notes and new proposed works	PJS	MAR 18



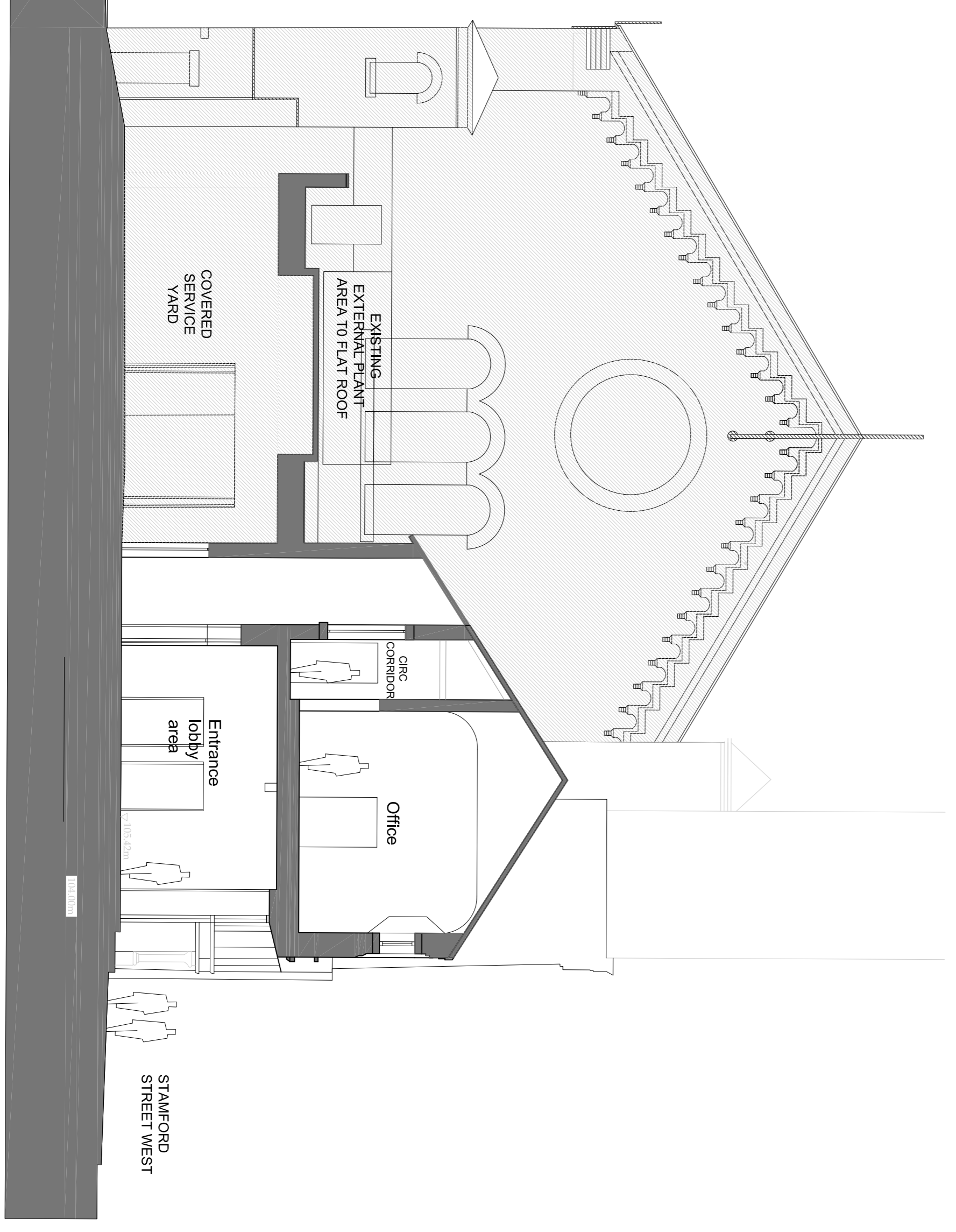
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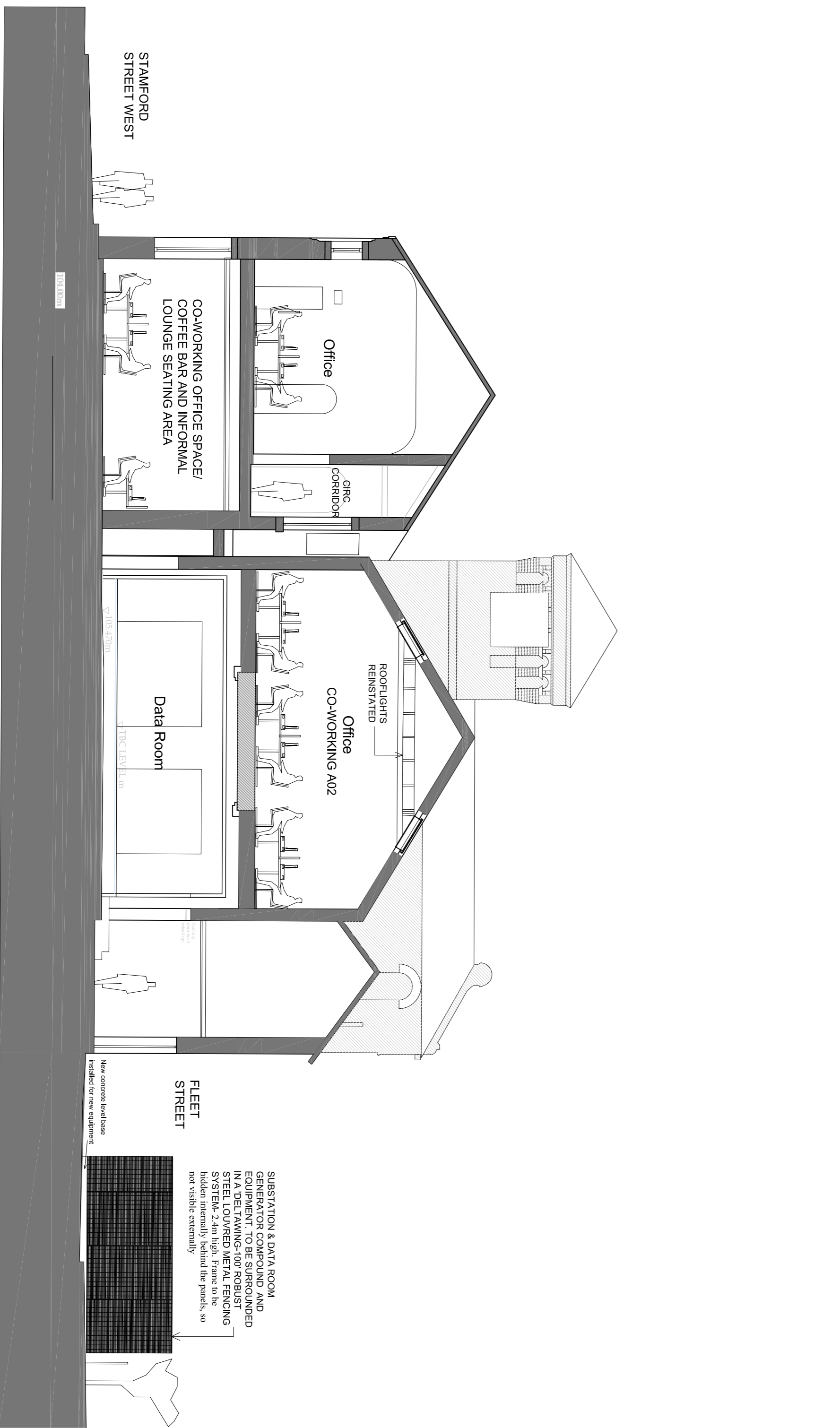


**PHASE 1 - MAIN POOL HALL-EXISTING WITH PROPOSED 3RD LEVEL ADDITIONS**

**PHASE 2 - ANNEX-PROPOSED**



**Proposed section BB 1:100**



**Proposed section CC 1:100**

**Client**  
TMBC

**Project**  
Ashton (Old) Baths

**Description**  
Phase 2 Annex  
Proposed Sections  
Sections A-A-BB-CC

**Scale**  
1:100 @ A1

**Date**  
MAR 18

**Drawn**  
SPC/PJS

**Checked**  
PJS

**Job number**  
1064

**Drawing number**  
204-01-LBC

**Revision**  
P2

**Scale**  
1:100 @ A1

**Date**  
MAR 18

**Drawn**  
SPC/PJS

**Checked**  
PJS

**Job number**  
1064

**Drawing number**  
204-01-LBC

**Revision**  
P2

**LISTED BUILDING CONSENT**

**Modern City Architecture & Urbanism**  
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Castlefield  
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M3 4LZ  
T: 0161 974 7203  
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www.mcua.co.uk

**MC AU**

**Substation & Data Room Generator Compound and Equipment to be Surrounded by Steel Louvred Metal Fencing System - 2.1m high. Frame to be modern (recently) behind the panels, so not visible externally.**

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Application Number: 18/00278/FUL

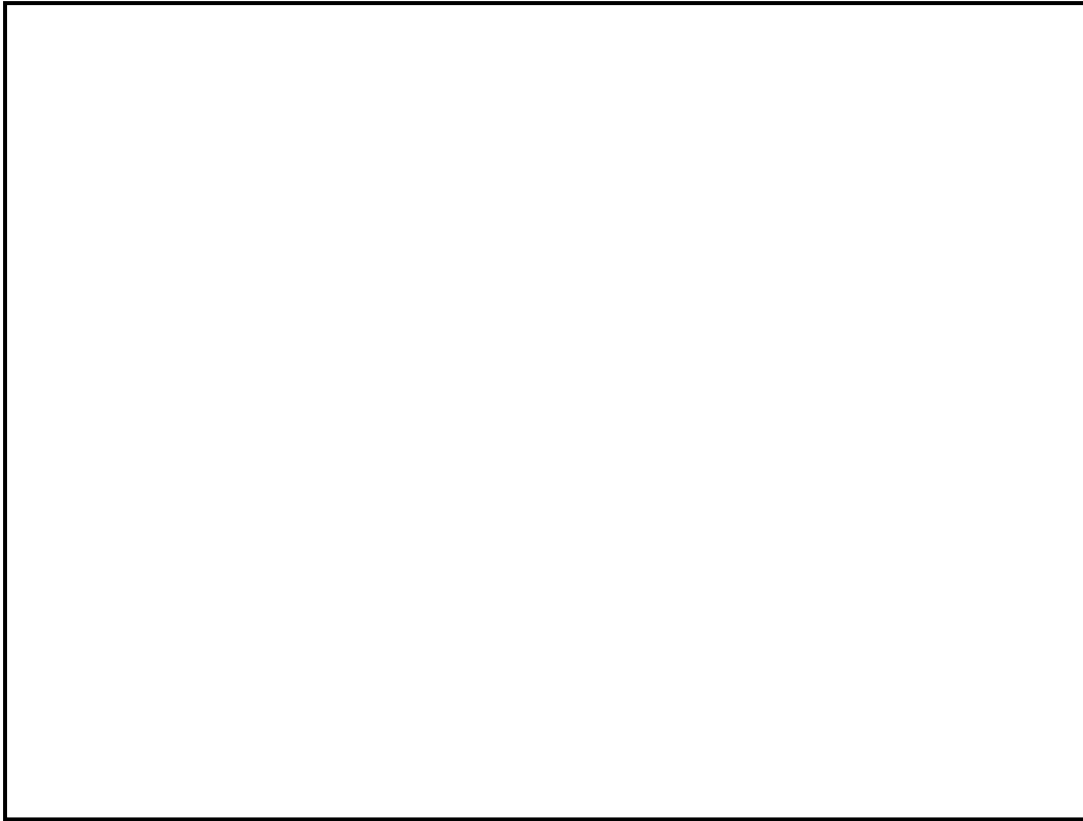
Photo 1



Photo 2



**Photo 3**



**Photo 4**



**Application Number** 18/00194/FUL

**Proposal** The change of use of section of Fleet Street from highway to service yard, including the installation of a 2.4m high metal fence

**Site** Ashton Old Baths, Stamford Street West, Ashton

**Applicant** Mr Nawaz Khan (TMBC)

**Recommendation** Approve, subject to conditions, and authorise the closure of a section of the public highway in Fleet Street

**Reason for report** A Speakers Panel decision is required because, in accordance with the Council's Constitution, in association with the granting of planning permission authorisation is sought for closure of a section of the public highway in Fleet Street.

## REPORT

### 1. APPLICATION DESCRIPTION

1.1 The application is one of three concurrent applications appertaining to Ashton Old Baths and seeks full planning permission for a fence to enclose a sub-station and generator in what is currently the highway in Fleet Street.

1.2 The concurrent applications are:

ref. 18/00278/FUL, seeking full planning permission for the change of use of what is known as the eastern annexe of the building to accommodate offices (use class B1), a coffee shop (use class A3) and a new internal data centre (sui generis use) with supporting sub-station and generator; and,

ref. 18/00321/LBC, seeking listed building consent for internal works, repairs, restoration and alterations to accommodate the proposed office accommodation, coffee shop and data centre with supporting sub-station and generator.

1.3 Enclosing the sub-station and generator, which are included in the concurrent planning application (ref. 18/00278/FUL) and are required to facilitate and enable the proposed change of use, the proposed 2.4m high steel fence would comprise louvred, angled flat horizontal bars and be coloured dark grey to match the window frames in the building.

### 2. SITE & SURROUNDINGS

2.1 Located on the south side of Henry Square, Ashton Old Baths is a grade II\* listed building situated in the town centre conservation area and is at the heart of the St Petersfield redevelopment scheme. The building sits on an island site bounded by Stamford Street West to the north, Fleet Street to the east and south and Welbeck Street to the west. The A635 Park Parade town centre by-pass is situated parallel with Fleet Street to the south.

2.2 The proposed sub-station and plant enclosure would be located on the southern side, and be detached from, the building.

### **3. PLANNING HISTORY**

3.1 In order to address the decline of the area known now as St Petersfield, and the Old Baths, which is the landmark building, outline planning permission (ref. 02/01443/OUT) was granted initially in May 2003 for the comprehensive redevelopment of the area, and again, with some modifications (ref. 04/00040/OUT), in May 2004. The proposal was that the redevelopment would include a mix of uses, but primarily business uses, with an element of residential use, and ancillary retail uses so as to provide a new business quarter for the town. A Masterplan included with these applications envisaged the Old Baths having the potential to accommodate either an hotel or a business centre.

3.2 Prior to the evolution of the St Petersfield scheme, planning permission (ref. 80/00119/FUL) was granted to use the Old Baths for light industrial and storage accommodation. Confirmation of the lawfulness of the use of the building for light industrial, or business, use was issued (ref. 14/00381/CLUD) in May 2014.

3.3 More recently and significantly, in accordance with the authorized use of the building, listed building consent (ref. 14/00575/LBC) allowed for:

Phase 1 works, comprising external and internal works, repairs, and alterations to the former main pool hall including the erection of an internal free-standing structure; and,

Phase 2 works, comprising essential works to secure repairs to and the structural integrity of the remaining parts of the building.

3.4 The current applications comprise Phase 3 works to the building.

### **4. RELEVANT PLANNING POLICIES**

4.1 **Tameside Unitary Development Plan (UDP) Allocation**  
Allocated Development Opportunity Area within Ashton town centre conservation area

#### **4.2 Part 1 Policies**

1.3: Creating a Cleaner and Greener Environment.  
1.11: Conserving Built Heritage and Retaining Local Identity  
1.12: Ensuring an Accessible, Safe and Healthy Environment.

#### **4.3 Part 2 Policies**

E2 (1): Development Opportunity Area: office, leisure, residential, light industrial and supporting retail uses.  
T1: Highway Improvement and Traffic Management.  
C2: Conservation Areas.  
C4: Control of Development in or Adjoining Conservation Areas.  
C6: Setting of Listed Buildings.  
C7: Enabling Development for Conservation of Heritage Assets.

#### **4.4 Other Policies**

Ashton-under-Lyne Town Centre Strategy Supplementary Planning Document

It is not considered there are any local finance considerations that are material to the application.

#### **4.5 National Planning Policy Framework (NPPF)**

Achieving sustainable development;  
Section 9. Promoting sustainable transport  
Section 12. Achieving well-designed places  
Section 16 Conserving and enhancing the historic environment

#### **4.6 Planning Practice Guidance (PPG)**

This is intended to complement the NPPF and to provide a single resource for planning guidance, whilst rationalising and streamlining the material. Almost all previous planning Circulars and advice notes have been cancelled. Specific reference will be made to the PPG or other national advice in the Analysis section of the report, where appropriate.

### **6. PUBLICITY CARRIED OUT**

- 6.1 The application has been advertised by means of neighbour notification letters dispatched on 20 July 2018 to 6 addresses in Portland Street South, Stamford Street West, Welbeck Street South and Bentinck Street, and with a notice being posted at the site on the same day.

### **7. RESPONSES FROM CONSULTEES**

- 7.1 Historic England offer no comments and defer consideration of the application to the local planning authority.

### **8. SUMMARY OF THIRD PARTY RESPONSES RECEIVED**

- 8.1 No responses have been received.

### **9. ANALYSIS**

- 9.1 There being no residential properties, nor any firm proposals for any future residential development, in the immediate vicinity, and so minimal impact on any residential amenities, the issues to consider in determining the application are:

whether the closure of a section of Fleet Street to accommodate the sub-station enclosure is acceptable in terms of the impact on the local highway network;  
and the impact on the setting of the listed building and the character and appearance of the conservation area.

### **10. FLEET STREET CLOSURE**

- 10.1 The key traffic route through St Petersfield is along Old Street. The section of Fleet Street on the southern side of the Old Baths serves only to link two temporary car parks on either side of the building; it is rarely used, and not required, as a through route. In these circumstances it is considered that the impact on the local highway network would not be severely detrimental and so the proposal is compliant with Section 9 of NPPF and policy T1 and of the UDP.

## **11. SETTING OF THE LISTED BUILDING AND CHARACTER AND APPEARANCE OF THE CONSERVATION AREA**

- 11.1 The presence of the fence around the sub-station and plant would impact on the setting of the listed building and the character and appearance of the conservation area in which it is set. Views of the Old Baths are from the east and west along Stamford Street and mainly from Henry Square in the north. The location of the proposed sub-station and plant, on the southern side of the building, at the very southern edge of the conservation area, is relatively secluded with passing views being mainly from the Park Parade town centre by-pass.
- 11.2 Paragraph 196 of the NPPF states that: Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use. Given the above, for the purposes of such assessment, it is considered that the presence of the fence to enclose the sub-station and plant would lead to less than substantial harm to the significance of the listed building and the character and appearance of the conservation area as heritage assets and that this harm would be majorly out-weighed by the public benefits that would accrue from the this development, which is necessary to enable the optimum new use for the annexe to the listed building to be secured. It is therefore considered the proposal is compliant with: the core principles and Sections 12 and 16 of the NPPF; policies C2, C5 and C7 of the UDP; and the SPD.

## **RECOMMENDATION**

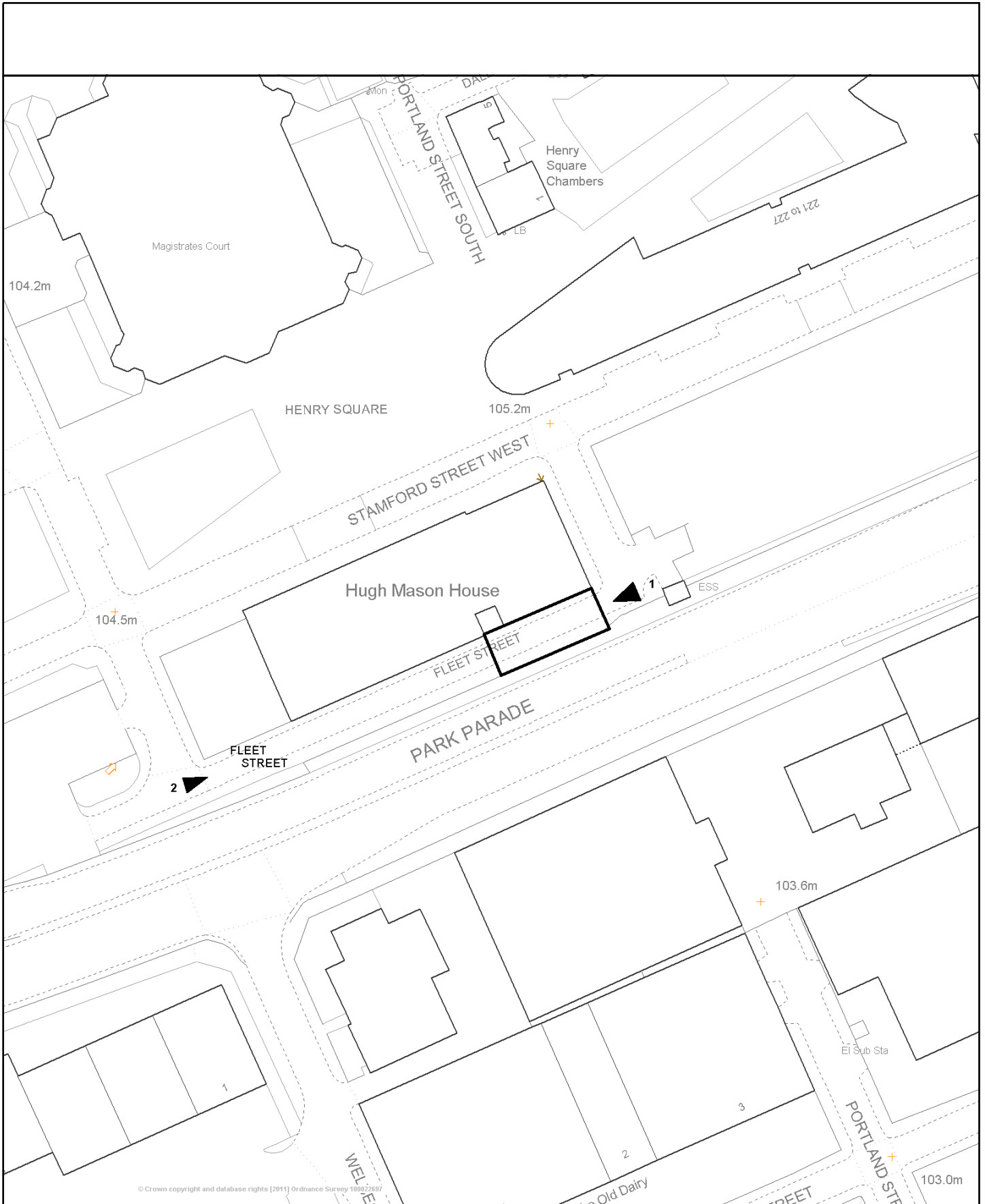
Grant planning permission subject to the following conditions:

1. The development must begin not later than the expiration of three years beginning with the date of this permission.
2. The development hereby permitted shall be carried out in accordance with the following approved plans refs.:

HS5003\_233  
HS5003\_233\_1  
HS5003\_233\_3  
HS5003\_233\_4  
HS5003\_233\_5

3. Prior to installation, a sample panel of the fence hereby approved shall be provided at the site to be approved in writing by the local planning authority. The development shall be carried out in accordance with such approval.





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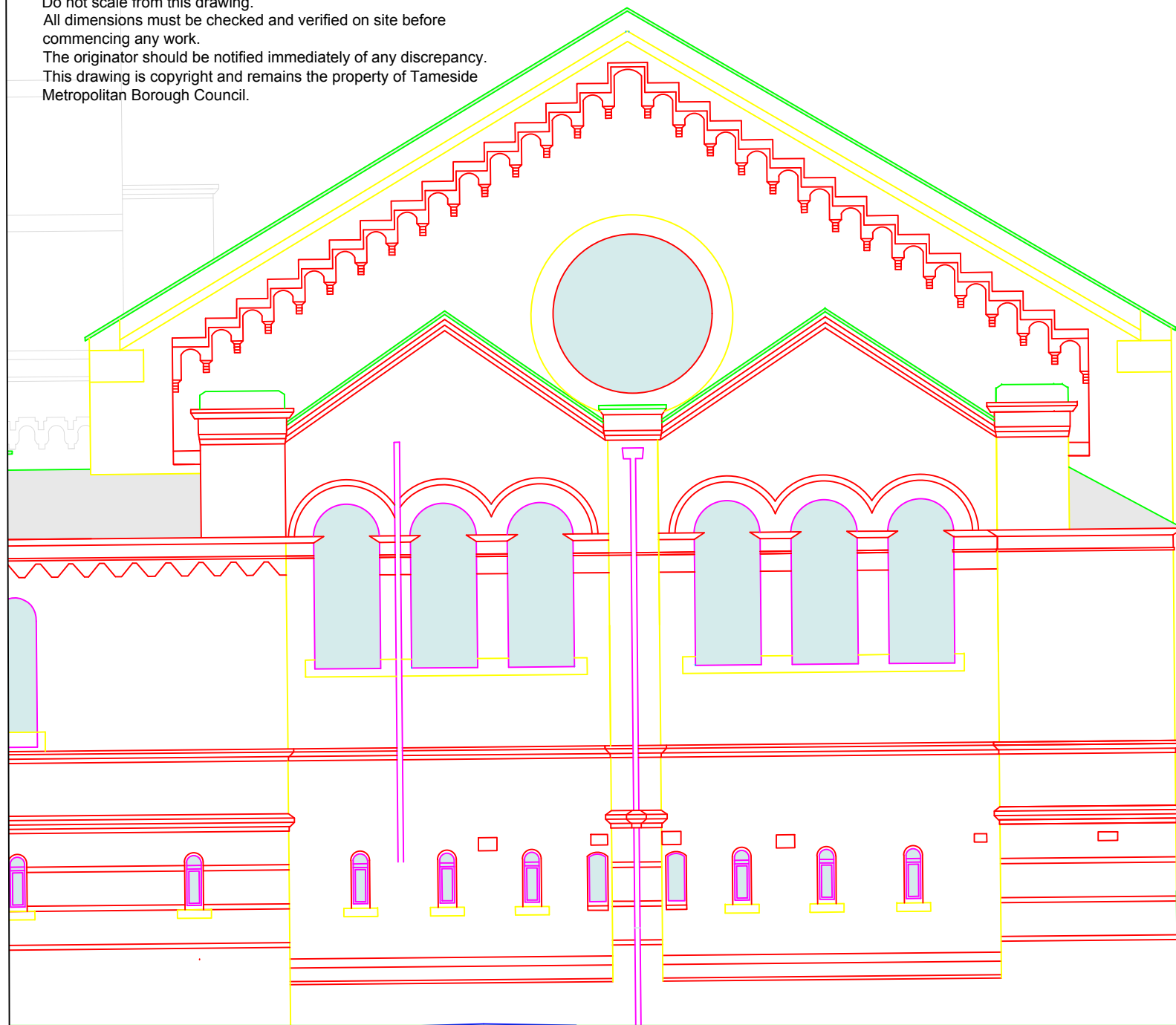
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PROPOSED SERVICE YARD GENERATORS/SUBSTATIONS ARE INDICATIVE ONLY + WILL BE SUBJECT TO SUBSEQUENT APPLICATION.



2.4m

SUBSTATION & DATA ROOM GENERATOR COMP EQUIPMENT. TO BE SURROUNDED IN A 'DELTA' ROBUST STEEL LOUVRED METAL FENCING SYSTEM. Frame to be hidden internally behind the panels, so not visible.

Title			
CHANGE OF USE FROM HIGHWAY TO SERVICE YARD FLEET STREET, ASHTON-U-LYNE EAST ELEVATION			
Scale	Drawn	Checked	Scheme ID
1:100 @ A3	C.BIRD	S.O	-
	Date	Date	Drawing Status
	MARCH 18	MARCH 18	-
DRAWING No.			Revision
HS5003_233_5			-

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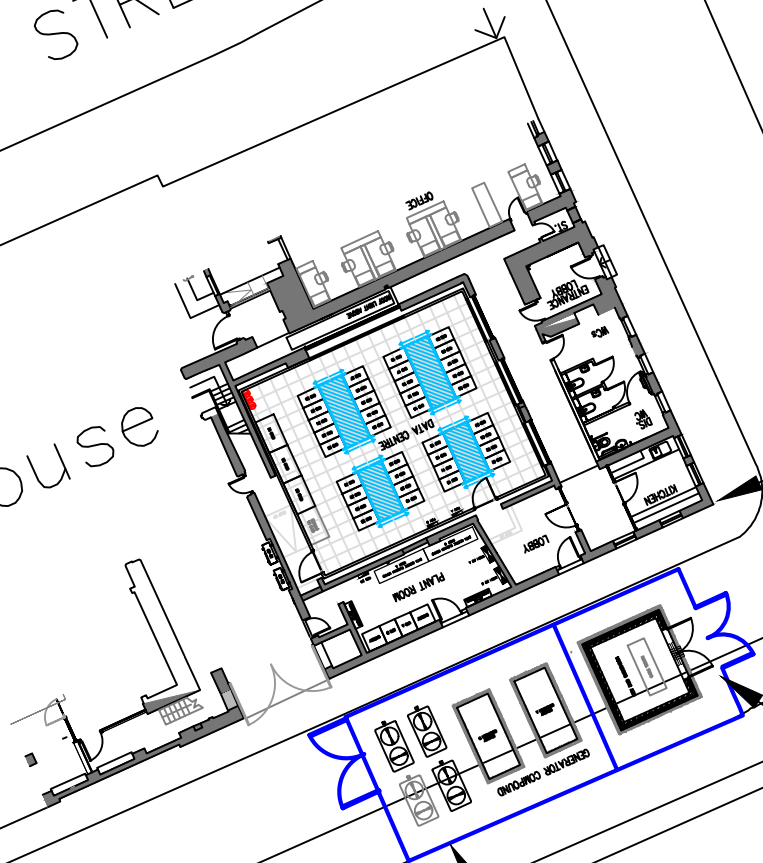
105.2m

STAMFORD STREET WEST

Hugh Mason House

FLEET STREET

PARK PARADE



PROPOSED SERVICE YARD  
 GENERATORS/SUBSTATIONS  
 ARE INDICATIVE ONLY +  
 WILL BE SUBJECT TO  
 SUBSEQUENT APPLICATION.

**SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT  
 TO BE SURROUNDED IN A 'DELTAWING-100' ROBUST STEEL LOUVRED  
 METAL FENCING SYSTEM- 2.4m high. Frame to be hidden internally behind the  
 panels, so not visible externally**



OS-Related to match Topographical  
 Survey Co-Ordinates by 0.01m.

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Title  
**PROPOSED CHANGE OF USE  
 FROM HIGHWAY TO SERVICE YARD.  
 FLEET STREET, ASHTON-U-LYNE.**

Scale	Drawn C.BIRD	Checked SO	Scheme ID -
NTS @ A3	Date FEB 18	Date FEB 18	Drawing Status -

DRAWING No. **HS5003\_233** Revision -

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SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT TO BE SURROUNDED IN A 'DELTA WING-100' ROBUST STEEL LOUVRED METAL FENCING SYSTEM- 2.4m high. Frame to be hidden internally behind the panels, so not visible externally

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Title  
CHANGE OF USE FROM HIGHWAY TO SERVICE YARD  
FLEET STREET, ASHTON-U-LYNE  
SOUTH ELEVATION

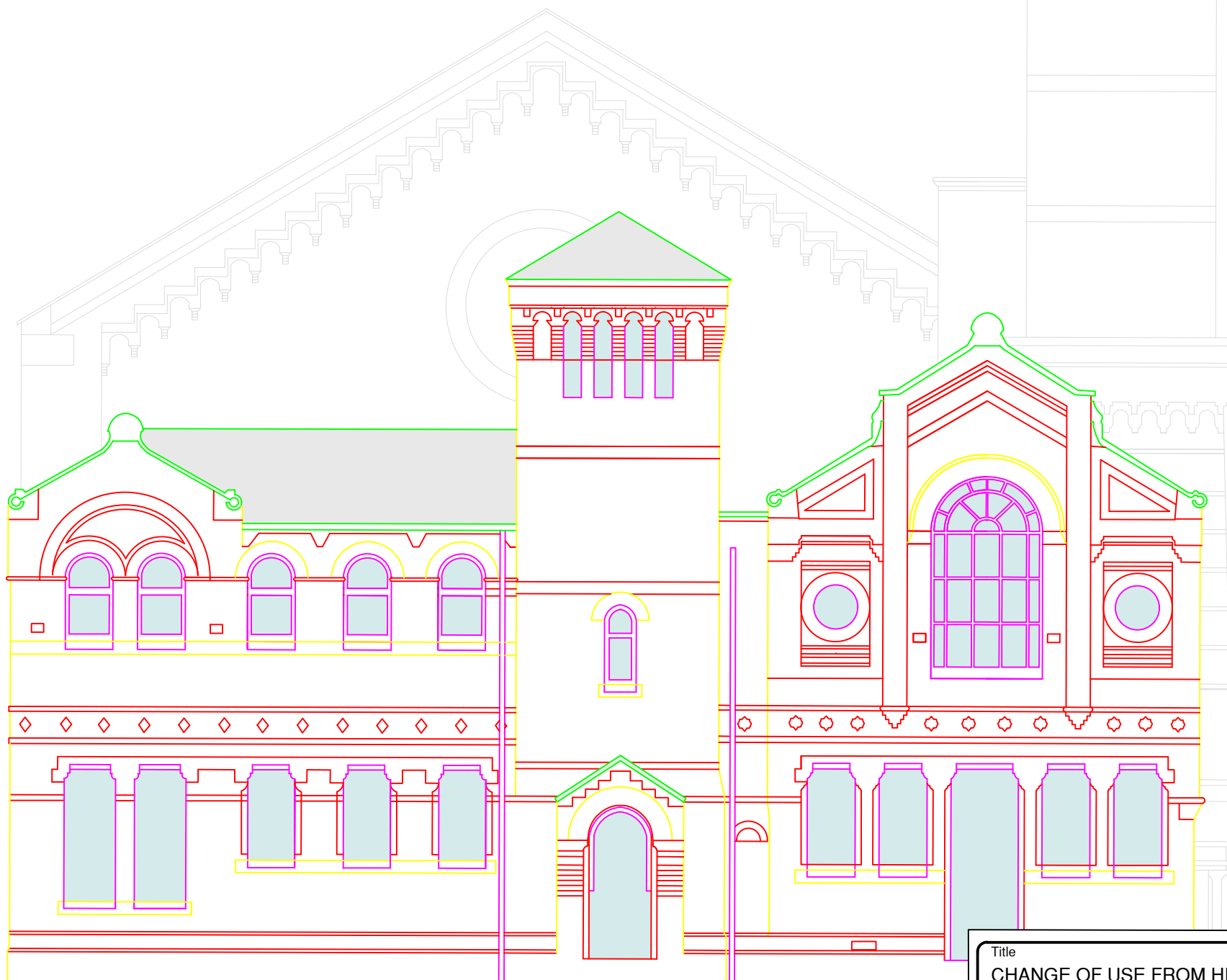
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1:200 @ A3	Date FEB 18	Date FEB 18	Drawing Status

DRAWING No. - HS5003\_233\_3      Revision

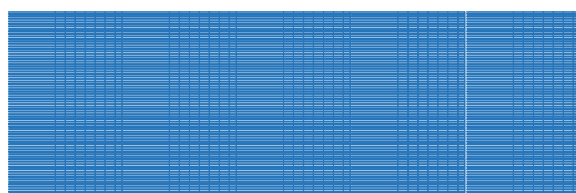
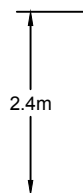
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PROPOSED SERVICE YARD GENERATORS/SUBSTATIONS ARE INDICATIVE ONLY + WILL BE SUBJECT TO SUBSEQUENT APPLICATION.



SUBSTATION & DATA ROOM GENERATOR COMPOUND AND EQUIPMENT. TO BE SURROUNDED IN A 'DELTAWING-100' ROBUST STEEL LOUVRED METAL FENCING SYSTEM- 2.4m high. Frame to be hidden internally behind the panels, so not visible externally

Title CHANGE OF USE FROM HIGHWAY TO SERVICE YARD FLEET STREET, ASHTON-U-LYNE WEST ELEVATION			
Scale 1:100 @ A3	Drawn C.BIRD	Checked S.O	Scheme ID -
	Date MARCH 18	Date MARCH 18	Drawing Status -
DRAWING No. HS5003_233_4			Revision -

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Application Number: 18/00194/FUL

Photo 1



Photo 2



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